

Members

Kevin Bartoy, Chair
Jennifer Mortensen, Vice Chair
Jonathan Hart
Sarah Hilsendeger
Alex Morganroth
Lysa Schloesser
Jenny Sullivan
Jeff Williams
George Zeno
Deborah Cade, North Slope Ex-Officio
Leah Jaggars, Wedge Ex-Officio



Agenda

Landmarks Preservation Commission Planning and Development Services Department

Date: May 25, 2022
Time: 5:30 p.m.
Location: Virtual (see below)

Staff

Reuben McKnight, Historic Preservation Officer
Susan Johnson, Historic Preservation Coordinator
Mary Crabtree, Administrative Assistant

INFORMATION ABOUT VIRTUAL MEETINGS

In response to social distancing recommendations in regards to the COVID-19 pandemic, this meeting will be conducted virtually. The meeting can be attended at <http://zoom.us/j/88592995176>, or by dialing +1 (253) 215-8782 and entering the meeting ID 885 9299 5176 when prompted.

Microphones will be muted and cameras turned off for all participants during the meeting, except for the Commissioners and presenters.

The public may submit general comments in writing prior to the meeting, by 4:00 p.m., on May 25th, or comment during the meeting on regular agenda items for which a hearing has not already been held. Please e-mail your comments to landmarks@cityoftacoma.org, put in the subject line "LPC Meeting 5/25/22", and clearly indicate which agenda item(s) you are addressing.

1. ACKNOWLEDGEMENT OF INDIGENOUS LANDS	PAGE #	TIME
2. ROLL CALL		
3. CONSENT AGENDA		
A. Excusal of Absences		
B. Approval of Minutes: N/A		
C. Administrative Review:		
• 824 N Grant		
• Lincoln High School Bowl restrooms		
• 516 N. L St.		
• 708 N. K St.		
4. DESIGN REVIEW		
A. 911 N. J St. <i>Window Replacement Project</i>	Caleb Blom	9 20 m
5. BOARD BRIEFINGS		
A. 811 N. Ainsworth <i>Revised Design Feedback Briefing</i>	Nick Holt	57 25 m
6. BOARD BUSINESS/COMMUNICATION ITEMS		
A. Events and Activities	Staff	n/a 5 m
7. CHAIR COMMENTS		

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¿Necesitas información en español? 한국어로 정보가 필요하십니까? Cần thông tin bằng tiếng Việt? Нужна информация на русском?
ត្រូវការព័ត៌មានជាភាសាខ្មែរ? ☎ Contact TacomaFIRST 311 at (253) 591-5000

STAFF REPORT

May 25, 2022

DESIGN REVIEW

AGENDA ITEM 4A: 911 N. J Street

Caleb Blom, Pella Windows

BACKGROUND

Built in 1913, this is a contributing property in the North Slope Historic District. This is a proposal to replace 32 windows with Pella Windows, Reserve Traditional Series, Precision Fit Double Hung sashes. The Pella replacement sashes are wood (pine) clad, painted on both interior and exterior with insulated glass lites. All of the windows proposed for replacement appear to be historic wood framed, hung sashes, multi-lite over a single lite. No changes to window openings are proposed.

Reasons cited for the replacement include condition. In support of this rationale, the applicant has included a window inventory noting concerns that is number keyed to a floor plan, as well as exterior photographs of each window. Two sample interior pictures are also included with the review packet.

To support the condition assessment, staff has asked the applicant to submit additional visual evidence of condition prior to the meeting.

ACTION REQUESTED

Approval of the above scope of work.

GUIDELINES

Design Guidelines for Wedge and North Slope Historic Districts:

WINDOWS

1. Preserve Existing Historic Windows. Existing historic windows in good working order should be maintained on historic homes in the district. The existing wood windows exhibit craftsmanship and carpentry methods in use at the time that the neighborhood was developed. New manufactured windows, even those made of wood, generally do not exhibit these characteristics.
2. Repair Original Windows Where Possible. Original wood windows that are in disrepair should be repaired if feasible. The feasibility of different approaches depends on the conditions, estimated cost, and total project scope. Examples of substandard conditions that do not necessarily warrant replacement include: failed glazing compound, broken glass panes, windows painted shut, deteriorated paint surface (interior or exterior) and loose joinery. These conditions alone do not justify window replacement. Repair of loose or cracked glazing, loose joinery or stuck sashes may be suitable for a carpenter or handyperson. Significant rot, deterioration, or reconstruction of failed joints may require the services of a window restoration company.
3. Replace windows with a close visual and material match. When repairing original windows is not feasible, replacement may be considered.
 - a. Where replacement is desired, the new windows should match the old windows in design and other details, and, where possible, materials.
 - b. Certain window products, such as composite clad windows, closely replicate original appearance and therefore may be appropriate. This should be demonstrated to the Commission with material samples and product specification sheets.
 - c. Changing the configuration, style or pattern of original windows is not encouraged, generally (for example, adding a highly styled divided light window where none existed before, or adding an architecturally incompatible pattern, such as a Prairie style gridded window to a English Cottage house).

- d. Vinyl windows are not an acceptable replacement for existing historic windows. Depending on specific project needs, replacement windows may include:
- e. Sash replacement kits. These utilize the existing window frame (opening) and trim, but replace the existing sashes and substitute a vinyl or plastic track for the rope and pulley system. Sash replacement kits require that the existing window opening be plumb and square to work properly, but unlike insert windows, do not reduce the size of the glazed area of the window or require shimming and additional trim.
- f. An insert window is a fully contained window system (frame and sashes) that is “inserted” into an existing opening. Because insert windows must accommodate a new window frame within the existing opening, the sashes and glazed area of an insert window will be slightly smaller than the original window sashes. Additional trim must be added to cover the seams between the insert frame and the original window. However, for window openings that are no longer plumb, the insert frame allows the new sashes to operate smoothly.

ANALYSIS

1. This property is a contributing structure in the North Slope Historic District and, as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications.
2. Several windows have been previously replaced with similar historically compatible Pella Window units that appear to meet the guidelines.
3. The windows proposed for replacement are original to the house. Condition appears to range from good to fair, with condition issues including deteriorated sash and sills along with water infiltration at windows. The guidelines recommend a consideration of the overall scope of the project.
4. The main floor windows at the rear and side elevations are minimally visible, and replacement of these windows would be of minor visual impact to the surrounding neighborhood.
5. The front elevation windows are highly visible from the right-of-way. However, these windows are typical of the other units and are not character-defining features.
6. In general, the proposed replacement windows are high quality and meet the precedents of other window projects within the district.

RECOMMENDATION

Staff defers recommendation for the replacement windows pending submittal of additional visual evidence.

BOARD BRIEFING

AGENDA ITEM 5A: 811 N. Ainsworth (New construction)

BACKGROUND

Built in 1890, this was a contributing structure in the North Slope Historic District. The structure was demolished in 2019 without proper permits. The applicant is now proposing a design for a new residential structure to replace the demolished structure, based on the previous design and commission guidance. The property is currently under enforcement status and a work plan has been agreed upon to resolve the violation.

The Commission packet includes a plan set for the proposed new construction, along with the previously approved plan set for the addition, and photographs of the house that was demolished. The new design is for a two-story residence with a basement, occupying an approximate 1400 SF footprint. The overall ridge height for the proposed structure is 28' 6 ½". The exterior material palette includes wood clad windows in a predominant double hung configuration, and the siding will be cedar with a 5" reveal. The new design differs in several respects from the original house, including the front façade, which appeared to have had a porch added to the front over an enclosed original porch. The new design uses a flat front elevation with the entrance facing east. The primary roof pitch is 12:12, with the ell addition using a 6:12 pitch. The proposed structure is sited east of the original footprint due to setback requirements.

ACTION REQUESTED

This is a briefing for feedback and guidance. No action is requested. The applicant plans to submit a design for final approval at the June 8 meeting.

PRIOR ACTIONS

- On May 11, 2016, the Landmarks Preservation Commission approved a new addition to the former house, as well as a new garage.
- On May 4, 2017, staff approved an 18-month extension for the Certificate of Approval.
- On October 11, 2018, the Landmarks Preservation Commission approved a design amendment for the new garage.
- In March 2019, the house was demolished without proper permits. A violation was issued on March 14 for exceeding the approved permit scope for the partial demolition of the historic house. The property has been under enforcement since that time.
- On May 22, 2019, the applicant briefed the Commission on a proposed replacement design. The Commission commented that the proposal was too large and the design was out of context with what was previously approved, as well as the neighboring homes. The Commission advised that the applicant should design a structure consistent with the design for the previously approved remodel of the historic home. However, due to current development standards, specifically setbacks, some redesign would be required to meet code.
- On September 9, 2019, administrative approval was issued for the removal of the remaining partial front façade, due to safety and blight concerns.
- On September 25, 2019, the Commission was briefed on a proposed new design that reduced the overall size of the replacement structure. The Commission responded by referring back to the previous guidance, which was to base the design of the replacement structure on the demolished structure.
- On April 13, 2022, the Commission was presented with a proposed new design. The Commission voted to deny the application, finding that the new design did not match the accepted 2016 design set as previously directed by the Commission. Specifically, the discussion called out the location of the front entry (the new design showed the porch relocated from the front elevation to the side of the main structure, and the shed roof dormer pitch and roof height were inconsistent with the 2016 design. The applicant plans to address these issues during the briefing.

GUIDELINES

The Design Guidelines for New Construction in the Wedge and North Slope Historic Districts apply, as follows:

HEIGHT

Goal: Balance the overall height of new construction with that of nearby structures.

Guideline: New buildings should be comparable in height to adjacent structures. Buildings that are substantially taller or shorter than the adjacent historic buildings should be avoided.

SCALE

Goal: Relate the size and proportions of new buildings and their architectural elements to those of the neighborhood.

Guideline: Building facades should be of a scale compatible with surrounding buildings and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations.

MASSING

Goal: Break up the facades of buildings into smaller varied masses comparable to those contributing buildings in the residential historic districts.

Guideline: Variety of forms is a distinguishing characteristic of the North Slope and Wedge residential communities. Smaller massing—the arrangement of facade details, such as projections and recesses—and porches all help to articulate the exterior of the structure and help the structure fit into the neighborhood. Avoid large, blank planar surfaces.

SENSE OF ENTRY

Goal: Emphasize entrances to structures.

Guideline: Entrances should be located on the front facade of the building and highlighted with architectural details, such as raised platforms, porches, or porticos to draw attention to the entry. Entrances not located on the front facade should be easily recognizable from the street.

ROOF SHAPES AND MATERIALS

Goal: Utilize traditional roof shapes, pitches, and compatible finish materials on all new structures, porches, additions, and detached outbuildings wherever such elements are visible from the street. Maintain the present roof pitches of existing contributing buildings where such elements are visible from the street.

Guideline:

1. Shape and Pitch: Typically, the existing historic buildings in the districts either have gable roofs with the slopes of the roofs between 5:12 to 12:12 or more and with the pitch oriented either parallel to or perpendicular to the public right-of-way or have hipped roofs with roof slopes somewhat lower.
2. Architectural Elements: Most roofs also have architectural details, such as cross gables, dormers, and/or "widow's walks" to break up the large sloped planes of the roof. Wide roof overhangs, decorative eaves or brackets, and cornices can be creatively used to enhance the appearance of the roof.
3. Materials: Roofs that are shingle or appear to be shingle, or composition roofs, are the typical historic material compatible with the district. Seam metal may be an acceptable material for simple roof structures. Slate, faux slate and terra cotta tiles are not appropriate for the districts.

WINDOWS AND RHYTHM OF OPENINGS

Goals: Respect the patterns and orientations of door and window openings, as represented in the neighboring buildings. Window and door proportions (including the design of sash and frames), floor heights, floor shapes, roof shapes and pitches, and other elements of the building exterior should relate to the scale of the neighborhood.

Guideline:

1. Placement. Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. New structures should utilize this pattern.
2. Doors. Doors should be or appear to be paneled and/or contain glazed openings.
3. Window configuration and detail. New structures should utilize existing historic window patterns in their design. Windows should be vertically oriented. Large horizontal expanses of glass may be created by ganging two or more windows into a series. Historically, the typical window in the district was a double hung sash window. Casement windows were commonly used for closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Muntins and grids should be true or simulated divided light. Grids sandwiched between thermal panes are not acceptable. Commonly, windows were also surrounded with substantial trim pieces or window head trim, and new window trim should utilize historic detail patterns. These may include crown molding, except where headers are engaged with a belly band or cornice, substantial projecting sills with aprons, and windows that are recessed or "punched in" so that the window sash and frame does not project beyond the wall plane. Design submittals for new structures shall include window trim details.
4. Window materials. Historically, windows were generally wood. New construction should use windows that are wood, or that mimic the appearance of wood (including clad or composite materials). Vinyl windows are generally not acceptable for new primary or detached accessory dwelling unit structures in the historic district.

ANALYSIS

1. This property is within the North Slope Historic Special Review District, as such, new construction is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.040.
2. The residence formerly standing at 811 N Ainsworth was a contributing structure within the North Slope Historic District, and alterations, including demolition, to this structure also required approval by the Landmarks Preservation Commission pursuant to TMC 13.05.040.
3. The applicant had presented a design for an addition and garage to the Landmarks Preservation Commission in May 2016, which was approved. Subsequent review in October 2018 approved a change to the garage roof design.
4. Despite the approved plan set for the addition and garage, and issuance of building permits for the same, the applicant instead demolished the house in March 2019 without approval for demolition, in violation of City regulations and the approved permits.
5. In briefings that occurred in May and September 2019, the applicant presented designs for a replacement structure to the Commission. In both cases, the Commission directed the applicant to base the design of the replacement structure on the demolished structure.
6. The Wedge and North Slope Historic District Design Guidelines apply to this proposal.
7. The proposed structure is slightly over 28' in height. The original structure was 27'10" according to plans approved in 2016. The guidelines for height state, "New buildings should be comparable in height to adjacent structures." Although a height survey has not been requested or conducted, adjacent structures do not appear to be as tall as the proposed height or the original home, in part due to their different architectural eras (the home to the east is a

- craftsman bungalow, and the home to the west is an English Cottage). However, the proposed house appears to meet the height guideline.
8. The guideline for scale states, “building facades should be of a scale compatible with surrounding buildings and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations.” The proposed design appears to maintain the residential architectural scale and is set back consistent with current development standards. The footprint of the home on the lot was shifted east of the location of the original house due to current setback requirements.
 9. The guideline for massing states in part, “Variety of forms is a distinguishing characteristic of the North Slope and Wedge residential communities. Smaller massing—the arrangement of facade details, such as projections and recesses—and porches all help to articulate the exterior of the structure and help the structure fit into the neighborhood. Avoid large, blank planar surfaces.” The proposed design includes massing typical of detached dwellings in the historic district and appears to meet this guideline.
 10. The guideline for “sense of entry” states, “: Entrances should be located on the front facade of the building and highlighted with architectural details, such as raised platforms, porches, or porticos to draw attention to the entry. Entrances not located on the front facade should be easily recognizable from the street.” The proposed design includes a clearly defined porch located on the front elevation, thus appearing to meet this guideline.
 11. The guideline for “roof shapes and materials” notes that roof pitches for new structures should be between 5:12 and 12:12, and should utilize elements such as dormers and cross gables to break up large blank surfaces. The proposed design includes a primary 12:12 pitch with a cross gable/shed dormer at 6:12, thus meeting this guideline.
 12. The guidelines for windows state that windows should share header heights with other doors and windows, utilize configurations similar to those typically found in the district, and should be wood or have an appearance like wood (such as a clad material). The proposed windows are primarily double hung, with hopper/awning casement windows. The windows are proposed to be clad wood and appear to meet this guideline.

BOARD BUSINESS/COMMUNICATION ITEMS

AGENDA ITEM 6A: Events & Activities Update

Staff

2022 Events

1. Preservation Month: Awards Presentation Ceremony is May 26th, 6:00-8:00pm via Zoom. A meeting invite has been sent to all Commissioners.

Landmarks Preservation Commission

Planning and Development Services Department



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

APPLICATION FOR DESIGN REVIEW

Permit Number: HDR22-0014

PROPERTY INFORMATION

Building/Property Name:	Robinson Residence
Building/Property Address:	911 N J ST
Historic/Conservation District:	North Slope
Applicant's Name:	Caleb Blom
Applicant's Address:	4410 N 28th St Tacoma, WA 98407
Applicant's Phone:	
Applicant's Email:	blomcc@pellapnw.com
Property Owner's Name:	ROBINSON JEFFREY R & JILL

PROJECT SCOPE AND DESCRIPTION

Project Details

Application Type:	Residential
Type of Work:	Window Replacement/Restoration
Estimated Valuation:	74000

Application Checklist

Features to be Modified:
Existing windows to be replaced.

Program of Work:

Specifications of Materials and Finishes:

New windows to be aluminum-clad wood.

Roof Height:**Roof Pitch:****Roof Material:****Size of****Proposed Material:**

Extruded aluminum.

Exterior Material:**Window Information****Window Types:**

Pella Windows

Reserve Traditional Series

Precision Fit Double Glass

Window Trim:**Window Material:**

Aluminum clad wood

Window Locations:

See attached pictures and drawings.

Door Information**Door Types:****Door Materials:****Door Locations:**

Existing Signage:

Sign Dimensions:

Sign Material:

Logo and Letter Size:

Lighting Specifications:

Removing or Relocating Signage:

Method of Attachment:



Submittal Information

Permit: HDR22-0014

Applied: 04/19/2022

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Planning & Development Services

747 Market St.

Tacoma, WA 98402

ADDITIONAL INFORMATION

Proposed Material	Extruded aluminum.
Window Locations	See attached pictures and drawings.
Window Material	Aluminum clad wood
Window Types	Pella Windows Reserve Traditional Series Precision Fit Double Hung

APPLICATION CHECKLIST

Elevation Drawings	CHECKED
Features to be Modified	Existing windows to be replaced.
Illustrations	CHECKED
Material Samples	CHECKED
Photographs	CHECKED
Site Plan	CHECKED
Specifications of Materials and Finishes	New windows to be aluminum-clad wood.

HISTORIC DISTRICT

District	North Slope
Guideline Certification	CHECKED

PARCEL AND ZONING INFORMATION

Accessibility Index	High
BLDINSPAREA	North
City Council District	2
Economy Index	Low
Education Index	Very High
Erosion Control Inspector	Scott Haydon
Historic District	Y
Land Use Designations	Single Family Residential
Liquefaction Susceptibility	very low
Livability Index	High
Neighborhood Council District	NORTH END
Overall Equity Index	High
SITEINSPAREA	North
Wastewater Subbasin	N05
Wind Zone	1.38
Zoning District	HMR-SRD-HIST

PROJECT DETAILS

14

Estimated Valuation

74000

REVIEW TYPE

Application Type

Residential

Type of Work

Window Replacement/Restoration

Contacts:

Contact Type

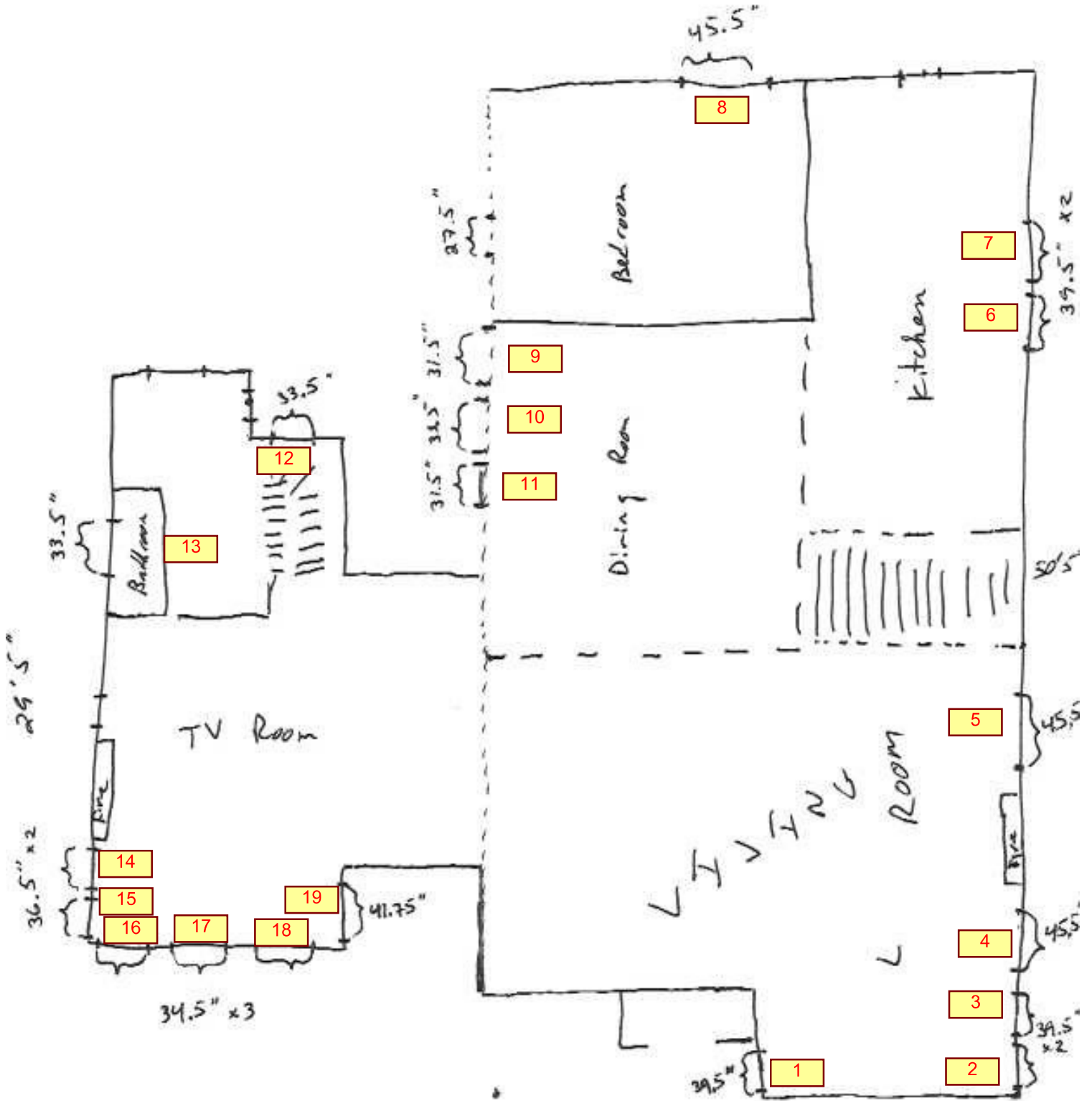
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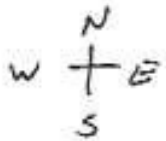
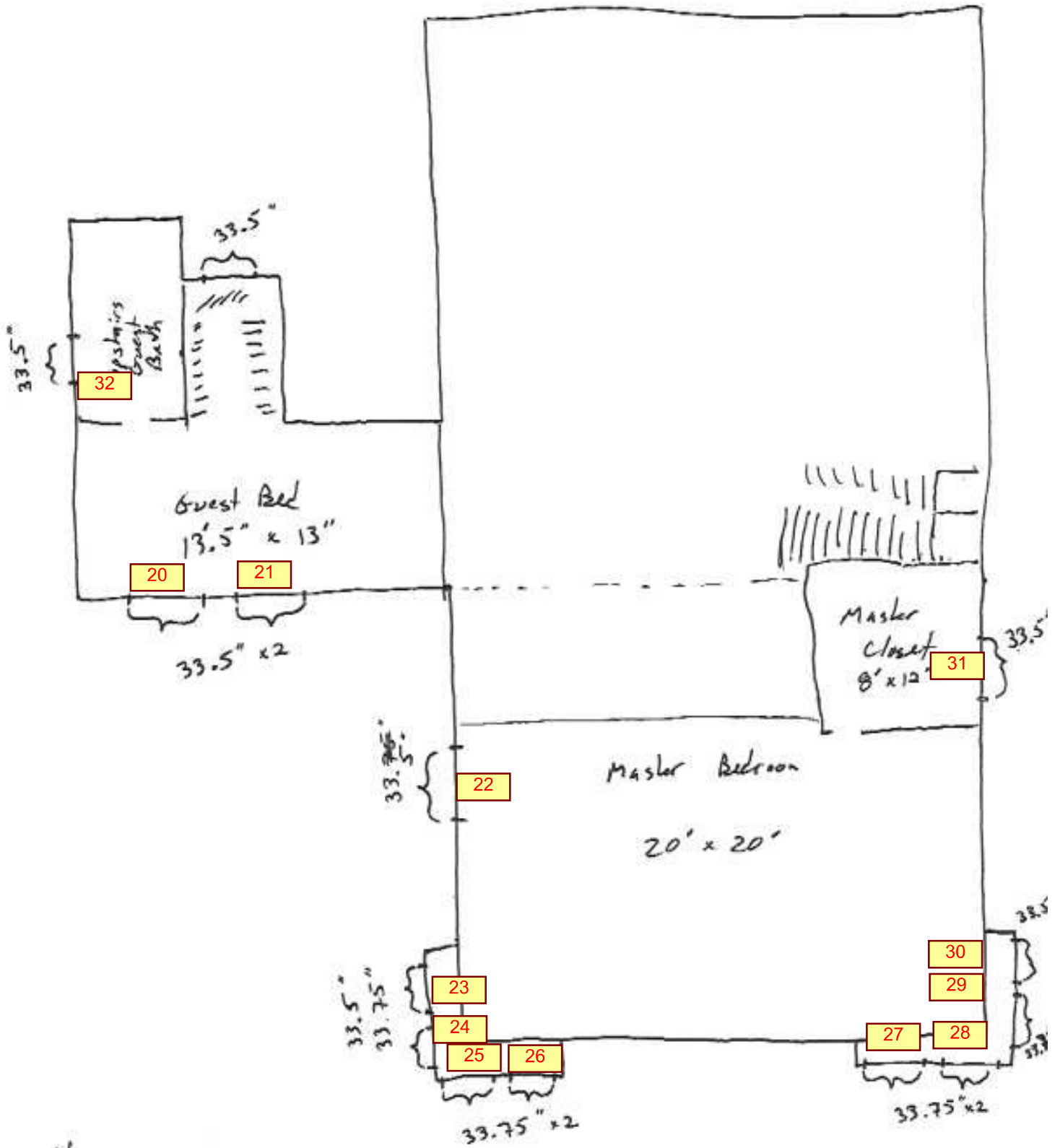
Email

Owner

Jeffrey Robinson

jeffrobi253@gmail.com





J St

upstairs

Window Number	Condition Description
1	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
2	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
3	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
4	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
5	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
6	Rot on lower sash.
7	Rot on lower sash.
8	Rot on lower sash.
9	Rot on sill.
10	Rot on sill.
11	Rot on sill.
12	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
13	Rot on sashes. Window is leaking, causing water damage.
14	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
15	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
16	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
17	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
18	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
19	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
20	Rot on lower sash.
21	Rot on lower sash.
22	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
23	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
24	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
25	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
26	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
27	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
28	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
29	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
30	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
31	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.
32	Rot on lower sash. Window is leaking, causing water damage to surrounding walls.



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Proposal - Detailed

Sales Rep Name: Blom, Caleb
Sales Rep Phone: 425-419-3536
Sales Rep E-Mail: blomcc@pellapnw.com
Sales Rep Fax:

Customer Information	Project/Delivery Address	Order Information
Emerson Construction 1317 Magnolia Ct FIRCREST, WA 98466-5887 Primary Phone: (206) 273-6520 Mobile Phone: Fax Number: E-Mail: Contact Name: Great Plains #: 1004349124 Customer Number: 1008396376 Customer Account: 1004349124	Robinson Residence - Do Not Use 911 N J St Lot # TACOMA, WA 98403 County: PIERCE Owner Name: Emerson Construction Owner Phone: (206) 273-6520	Quote Name: Robinson Residence - Do Not Use Order Number: 395 Quote Number: 15535989 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Deposit/C.O.D. Tax Code: PIER-TACOM Cust Delivery Date: None Quoted Date: 5/17/2022 Contracted Date: Booked Date: Customer PO #:

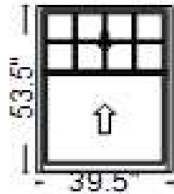
Line #	Location:	Attributes	Qty
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1 Sun Room

Pella® Reserve, Traditional, Replacement Double Hung, 39.5 X 53.5, White

Qty

1



PK #
2114

Viewed From Exterior

Rough Opening: 40" X 54"

1: Traditional, 39.5x53.5 Double Hung, Cottage

Frame Size: 39 1/2 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

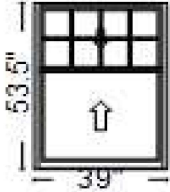
Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

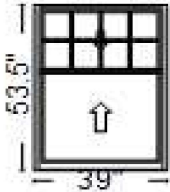
Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 36.125, Egress Does not meet typical United States egress, but may comply with local code requirements

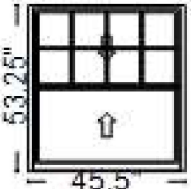
Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

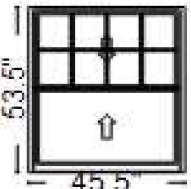
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 186".

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Line #	Location:	Attributes	
2	Sun Room	 <p>Viewed From Exterior Rough Opening: 39 - 1/2" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 39 X 53.5, White</p> <p>Qty 1</p> <p>1: Traditional, 3953.5 Double Hung, Cottage Frame Size: 39 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 35.625, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 185".</p>

Line #	Location:	Attributes	
3	Sun Room	 <p>Viewed From Exterior Rough Opening: 39 - 1/2" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 39 X 53.5, White</p> <p>Qty 1</p> <p>1: Traditional, 3953.5 Double Hung, Cottage Frame Size: 39 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 35.625, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 185".</p>

Line #	Location:	Attributes	
4	Living Room	 <p>Viewed From Exterior Rough Opening: 46" X 53.75"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 45.5 X 53.25, White</p> <p>Qty 1</p>
	PK # 2114	<p>1: Traditional, 45.553.25 Double Hung, Equal Frame Size: 45 1/2 X 53 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08 11, Clear Opening Width 42.125, Clear Opening Height 22.562, Clear Opening Area 6.600169, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 198".</p>	

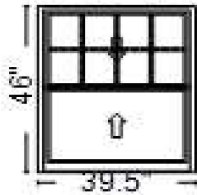
Line #	Location:	Attributes	
5	Living Room	 <p>Viewed From Exterior Rough Opening: 46" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 45.5 X 53.5, White</p> <p>Qty 1</p>
	PK # 2114	<p>1: Traditional, 45.553.5 Double Hung, Equal Frame Size: 45 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08 11, Clear Opening Width 42.125, Clear Opening Height 22.687, Clear Opening Area 6.636735, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 198".</p>	

Line #	Location:	Attributes
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6 Kitchen

Pella® Reserve, Traditional, Replacement Double Hung, 39.5 X 46, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 40" X 46.5"

1: Traditional, 39.546 Double Hung, Equal

Frame Size: 39 1/2 X 46

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 36.125, Clear Opening Height 18.937, Clear Opening Area 4.750689, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

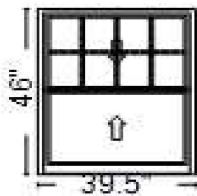
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 171".

Line #	Location:	Attributes
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7 Kitchen

Pella® Reserve, Traditional, Replacement Double Hung, 39.5 X 46, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 40" X 46.5"

1: Traditional, 39.546 Double Hung, Equal

Frame Size: 39 1/2 X 46

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

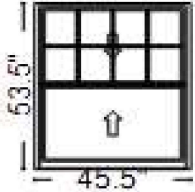
Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

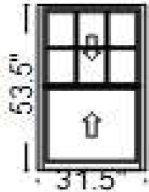
Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

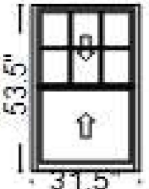
Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 36.125, Clear Opening Height 18.937, Clear Opening Area 4.750689, Egress Does not meet typical United States egress, but may comply with local code requirements

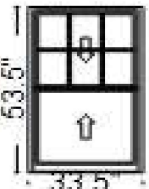
Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 171".

Line #	Location:	Attributes	
8	Main Floor Bedroom	 <p>Viewed From Exterior Rough Opening: 46" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 45.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p>
	PK # 2114	<p>1: Traditional, 45.53.5 Double Hung, Equal Frame Size: 45 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08 11, Clear Opening Width 42.125, Clear Opening Height 22.687, Clear Opening Area 6.636735, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 198".</p>	

Line #	Location:	Attributes	
9	Dining	 <p>Viewed From Exterior Rough Opening: 32" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 31.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p>
	PK # 2114	<p>1: Traditional, 31.53.5 Double Hung, Equal Frame Size: 31 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 28.125, Clear Opening Height 22.687, Clear Opening Area 4.431055, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 170".</p>	

Line #	Location:	Attributes	
10	Dining	 <p>Viewed From Exterior Rough Opening: 32" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 31.5 X 53.5, White</p> <p>Qty 1</p>
	PK # 2114	<p>1: Traditional, 31.5X3.5 Double Hung, Equal Frame Size: 31 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 28.125, Clear Opening Height 22.687, Clear Opening Area 4.431055, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 170".</p>	

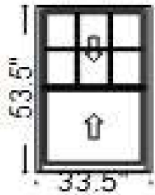
Line #	Location:	Attributes	
11	Dining	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p>Qty 1</p>
	PK # 2114	<p>1: Traditional, 33.5X3.5 Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>	

Line #	Location:	Attributes
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12 Stairs

Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34" X 54"

1: Traditional, 33.553.5 Double Hung, Equal

Frame Size: 33 1/2 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

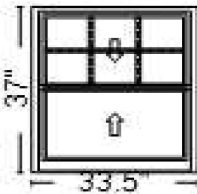
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".

Line #	Location:	Attributes
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13 Main Floor Bathroom

Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 37, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34" X 37.5"

1: Traditional, 33.537 Double Hung, Equal

Frame Size: 33 1/2 X 37

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.125, Clear Opening Height 14.437, Clear Opening Area 3.020241, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

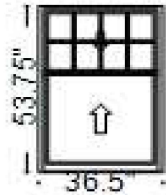
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 141".

Line #	Location:	Attributes
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14 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 36.5 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 37" X 54.25"

1: Traditional, 36.5X53.75 Double Hung, Cottage

Frame Size: 36 1/2 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 33.125, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

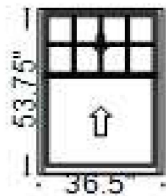
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 181".

Line #	Location:	Attributes
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15 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 36.5 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 37" X 54.25"

1: Traditional, 36.5X53.75 Double Hung, Cottage

Frame Size: 36 1/2 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 33.125, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

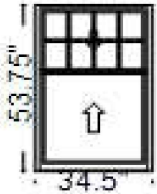
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 181".

Line #	Location:	Attributes
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16 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 34.5 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 35" X 54.25"

1: Traditional, 34.5x53.75 Double Hung, Cottage

Frame Size: 34 1/2 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 31.125, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

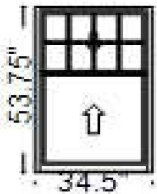
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 177".

Line #	Location:	Attributes
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17 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 34.5 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 35" X 54.25"

1: Traditional, 34.5x53.75 Double Hung, Cottage

Frame Size: 34 1/2 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 31.125, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

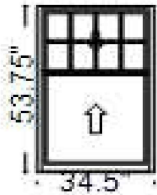
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 177".

Line #	Location:	Attributes
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18 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 34.5 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 35" X 54.25"

1: Traditional, 34.553.75 Double Hung, Cottage

Frame Size: 34 1/2 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 31.125, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

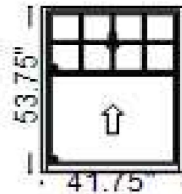
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 177".

Line #	Location:	Attributes
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19 TV Room

Pella® Reserve, Traditional, Replacement Double Hung, 41.75 X 53.75, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 42 - 1/4" X 54 - 1/4"

1: Traditional, 41.7553.75 Double Hung, Cottage

Frame Size: 41 3/4 X 53 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

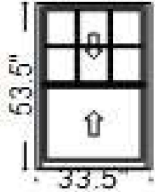
Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

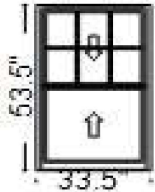
Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

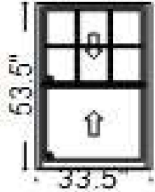
Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08|11, Clear Opening Width 38.375, Egress Does not meet typical United States egress, but may comply with local code requirements

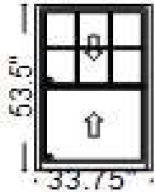
Grille: ILT, No Custom Grille, 7/8", Traditional (4W2H / 0W0H), Ogee, Ogee

Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 191".

Line #	Location:	Attributes	
20	Upstairs Guest Bed	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>

Line #	Location:	Attributes	
21	Upstairs Guest Bed	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>

Line #	Location:	Attributes	
22	MBR	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>

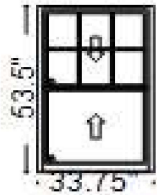
Line #	Location:	Attributes	
23	MBR	 <p>Viewed From Exterior Rough Opening: 34 - 1/4" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.75 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 3/4 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.375, Clear Opening Height 22.687, Clear Opening Area 4.785539, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 175".</p>

Line #	Location:	Attributes
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24 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.75 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34 - 1/4" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 3/4 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.375, Clear Opening Height 22.687, Clear Opening Area 4.785539, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

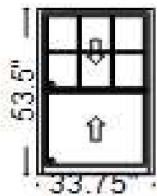
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 175".

Line #	Location:	Attributes
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25 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.75 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34 - 1/4" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 3/4 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.375, Clear Opening Height 22.687, Clear Opening Area 4.785539, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

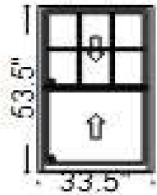
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 175".

Line #	Location:	Attributes
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26 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 1/2 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

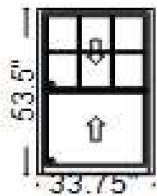
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".

Line #	Location:	Attributes
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27 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.75 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34 - 1/4" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 3/4 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.375, Clear Opening Height 22.687, Clear Opening Area 4.785539, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

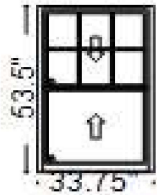
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 175".

Line #	Location:	Attributes
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28 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.75 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34 - 1/4" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 3/4 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.375, Clear Opening Height 22.687, Clear Opening Area 4.785539, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

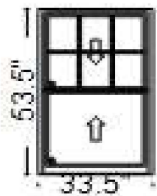
Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 175".

Line #	Location:	Attributes
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29 MBR

Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34" X 54"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 1/2 X 53 1/2

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

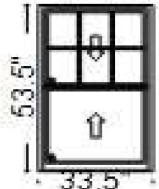
Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

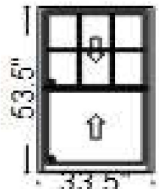
Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".

Line #	Location:	Attributes	
30	MBR	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>

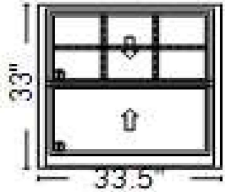
Line #	Location:	Attributes	
31	Master Closet	 <p>Viewed From Exterior Rough Opening: 34" X 54"</p>	<p>Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 53.5, White</p> <p style="text-align: right;"><u>Qty</u> 1</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 33 1/2 X 53 1/2 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08 11, Clear Opening Width 30.125, Clear Opening Height 22.687, Clear Opening Area 4.746152, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 174".</p>

Line #	Location:	Attributes
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32 Upstairs Bath

Pella® Reserve, Traditional, Replacement Double Hung, 33.5 X 33, White

Qty
1



PK #
2114

Viewed From Exterior

Rough Opening: 34" X 33.5"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 33 1/2 X 33

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.25, VLT 0.47, CPD PEL-N-233-00259-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Clear Opening Width 30.125, Clear Opening Height 12.437, Clear Opening Area 2.601838, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Ogee, Ogee

Wrapping Information: No Exterior Trim, Pella Recommended Clearance, Perimeter Length = 133".

Thank You For Your Interest In Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor **AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS.** You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC).

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

BRANCH WARRANTY:

TERMS & CONDITIONS:

This quote is valid for 30 days from the date it was quoted.



Size and Performance Data

	Clad LX	Wood LX	Clad SE
Sizes			
Made to order in 1/4" increments	●	●	●
Cottage Sash or Equal Sash Split	●	●	●
Variable sash split	●	●	●
Performance₁			
Meets or Exceeds AAMA/WDMA Ratings	H-CW40 - CW50 Hallmark Certified	H-CW40 - CW-50 Hallmark Certified	H-CW40 - CW50 Hallmark Certified
Air Infiltration (cfm/ft ² of frame @ 1.57 psf wind pressure)	0.11	0.11	0.11
Water Resistance	6.0-6.9 psf	6.0-6.9 psf	6.0-6.9 psf
Design Pressure	40-50 psf	40-50 psf	40-50 psf

Sound Transmission Class / Outdoor-Indoor Transmission Class

Product	Frame Size Tested ₁	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Clad LX or SE Double-Hung	With Integral Grilles						
	45" x 65"	11/16"	2.5mm	2.5mm	–	27	25
	45" x 65"	11/16"	3mm	3mm	–	30	26
	Without Grilles						
	45" x 65"	11/16"	2.5mm	2.5mm	–	26	22
	45" x 65"	11/16"	3mm	3mm	–	28	24

(–) = Not Available

(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values.

(2) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.



Glazing Performance - Total unit

Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values ¹				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown					
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada ²	
										Zone				ER	Zone
Vent - Wood and Aluminum-Clad Exteriors										N	NC	SC	S	CA	
11/16"	Clear IG	PEL-N-178-01237-00001	2.5	2.5	air	0.46	0.60	0.63	44						
	with grilles-between-the-glass	PEL-N-178-01238-00001				0.46	0.54	0.56	44						
	with integral grilles	PEL-N-178-01239-00001				0.47	0.54	0.56	44						
11/16"	Advanced Low-E IG	PEL-N-178-01273-00001	2.5	2.5	argon	0.29	0.28	0.53	59		NC				
	with grilles-between-the-glass	PEL-N-178-01274-00001				0.29	0.25	0.47	59		NC	SC	S		
	with integral grilles	PEL-N-178-01275-00001				0.30	0.25	0.47	59		NC	SC	S		
11/16"	SunDefense™ Low-E IG	PEL-N-178-01321-00001	2.5	2.5	argon	0.29	0.21	0.49	60		NC	SC	S		
	with grilles-between-the-glass	PEL-N-178-01322-00001				0.29	0.19	0.44	60		NC	SC	S		
	with integral grilles	PEL-N-178-01323-00001				0.29	0.19	0.44	60		NC	SC	S		
11/16"	AdvancedComfort Low-E IG	PEL-N-178-01297-00001	2.5	2.5	argon	0.25	0.28	0.52	48	N	NC				
	with grilles-between-the-glass	PEL-N-178-01298-00001				0.25	0.25	0.46	48	N	NC	SC	S		
	with integral grilles	PEL-N-178-01299-00001				0.26	0.25	0.46	48	N	NC	SC	S		
11/16"	NaturalSun Low-E IG	PEL-N-178-01249-00001	2.5	2.5	argon	0.30	0.53	0.60	59	N					
	with grilles-between-the-glass	PEL-N-178-01250-00001				0.30	0.47	0.54	59	N					
	with integral grilles	PEL-N-178-01251-00001				0.31	0.47	0.54	59						
Tinted Glazing										N	NC	SC	S	CA	
11/16"	Bronze Advanced Low-E IG	PEL-N-178-01345-00001	5	3	argon	0.30	0.25	0.34	55		NC				
	with grilles-between-the-glass	PEL-N-178-01346-00001				0.31	0.23	0.30	55				S		
	with integral grilles	PEL-N-178-01347-00001				0.31	0.23	0.30	55				S		
11/16"	Gray Advanced Low-E IG	PEL-N-178-01353-00001	5	3	argon	0.30	0.23	0.29	58		NC	SC	S		
	with grilles-between-the-glass	PEL-N-178-01354-00001				0.31	0.21	0.26	58				S		
	with integral grilles	PEL-N-178-01355-00001				0.31	0.21	0.26	58				S		
11/16"	Green Advanced Low-E IG	PEL-N-178-01361-00001	5	3	argon	0.30	0.28	0.46	58		NC				
	with grilles-between-the-glass	PEL-N-178-01362-00001				0.31	0.26	0.41	58						
	with integral grilles	PEL-N-178-01363-00001				0.31	0.26	0.41	58						
High Altitude Glazing										N	NC	SC	S	CA	
11/16"	Advanced Low-E IG	PEL-N-178-01285-00001	2.5	2.5	air	0.33	0.29	0.53	56						
	with grilles-between-the-glass	PEL-N-178-01286-00001				0.33	0.26	0.47	56						
	with integral grilles	PEL-N-178-01287-00001				0.33	0.26	0.47	56						
11/16"	SunDefense Low-E IG	PEL-N-178-01333-00001	2.5	2.5	air	0.32	0.21	0.49	56				S		
	with grilles-between-the-glass	PEL-N-178-01334-00001				0.32	0.19	0.44	56				S		
	with integral grilles	PEL-N-178-01335-00001				0.33	0.19	0.44	56				S		
11/16"	AdvancedComfort Low-E IG	PEL-N-178-01309-00001	2.5	2.5	air	0.28	0.28	0.52	44		NC				
	with grilles-between-the-glass	PEL-N-178-01310-00001				0.28	0.25	0.46	44		NC	SC	S		
	with integral grilles	PEL-N-178-01311-00001				0.28	0.25	0.46	44		NC	SC	S		
11/16"	NaturalSun Low-E IG	PEL-N-178-01261-00001	2.5	2.5	air	0.34	0.53	0.60	55						
	with grilles-between-the-glass	PEL-N-178-01262-00001				0.34	0.47	0.54	55						
	with integral grilles	PEL-N-178-01263-00001				0.34	0.47	0.54	54						

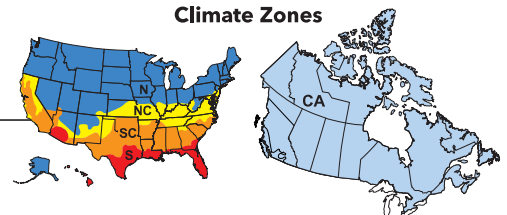
R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

(1) Glazing performance values are calculated for Pine using NFRC 100, NFRC 200 and NFRC 500. Thermal performance of other wood species may vary. ENERGY STAR® values are updated to 2016 (Version 6) criteria.

(2) The values shown are based on Canada's updated ENERGY STAR® 2020 initiative.

See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.

Climate Zones

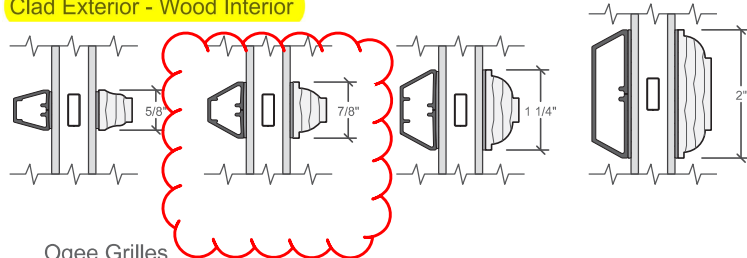




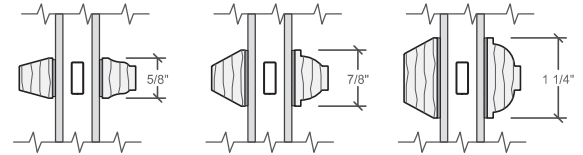
Grille Profiles

Traditional Style Collection - Integral Light Technology®

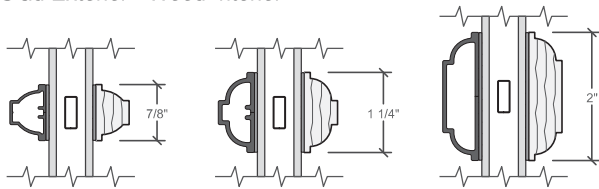
Putty Glaze and Ogee Grilles
Clad Exterior - Wood Interior



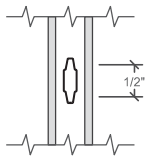
Putty Glaze and Ogee Grilles
Wood Exterior - Wood Interior



Ogee Grilles
Clad Exterior - Wood Interior



Grilles-Between-the-Glass



3/4"
Contoured Grille

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.



Detailed Product Description - Aluminum-Clad Exterior

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir].
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Pocket depth is 3-1/4" (83mm).
- Vinyl jamb liner, includes wood/clad inserts.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [LX: [clear pine] [mahogany] [douglas fir]] [SE: clear pine].
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Sash thickness is 1-7/8" (47mm).
- Sash exterior profile is [ogee] [putty glaze], interior profile is ogee.
- [Double-Hung: Upper sash has surface-mounted wash locks].
- Lower sash has concealed wash locks in lower check rail.
- Sashes tilt for easy cleaning.

Weatherstripping

- Water-stop Santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 11/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [Advanced Comfort Low-E] [NaturalSun Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E with argon].

Exterior

- Aluminum clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [standard] [feature] [custom]₂
 - or -
- Aluminum clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - Color is [standard] [feature] [custom]₂

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished [paint] [stain₂]].

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard] [historic spoon-style]. Two sash locks on units with make width 37" and greater.
- Optional Sash lift furnished for field installation. Two lifts on units with make width 37" and greater.
- Hardware finish is [baked enamel] [Champagne] [White] [Brown] [Matte Black] [Satin Brass] [Satin Nickel] [Oil-rubbed Bronze] [Distressed Bronze] [Distressed Nickel].

Optional Products**Grilles**

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [LX: [pine] [mahogany] [douglas fir]] [SE: pine]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₂]].
 - Exterior grilles are [5/8" putty glaze profile] [7/8" [putty glaze] [ogee] profile] [1-1/4" [putty glaze] [ogee] profile] that are extruded aluminum.
 - Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.
 - or -
- Grilles-Between-the-Glass₃
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
 - Interior color is [White] [Tan₄] [Brown₄] [Putty₄] [Black] [Ivory] [Harvest] [Cordovan] [Brickstone].
 - Exterior color₅ is [standard₂].

Screens

- InView™ Screens
 - [Half-Size] [Full-Size] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [extruded] [standard] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Spreader bar placed on units > 37" width or 64-1/4" make height.
 - Screen frame finish is baked enamel, color to match window cladding.

Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

(1) Low-E coated insulating glass is argon-filled (except high altitude). All other insulating glass (including high altitude Low-E) is air-filled.

(2) Contact your local Pella sales representative for current color options.

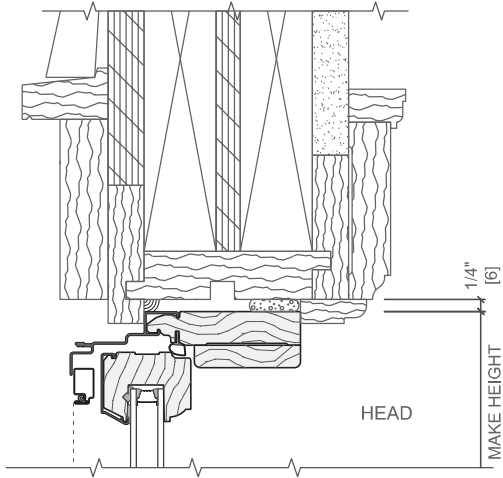
(3) Available in clear or Low-E insulating glass only.

(4) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

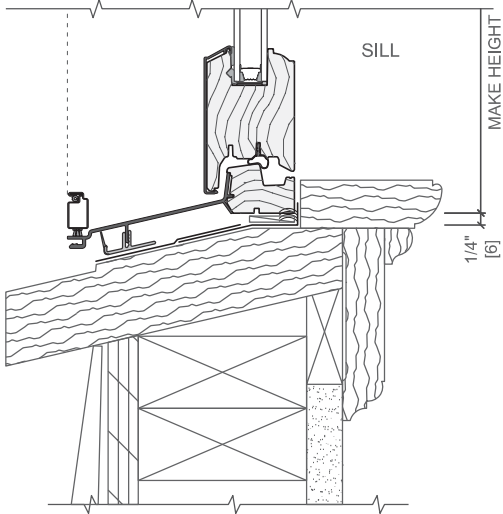
(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.



Installation Details - Aluminum-Clad Exterior

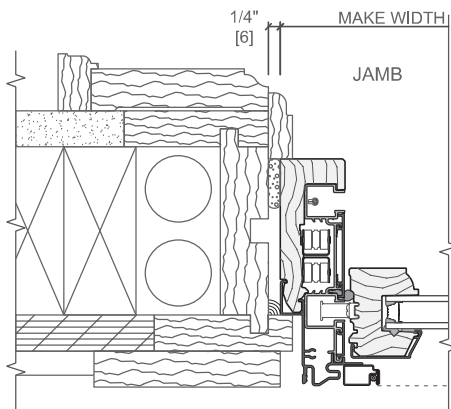


NOTE:
 WALL CONSTRUCTION AND OLD DOUBLE-HUNG FRAME SHOWN
 ARE EXISTING; OLD DOUBLE-HUNG SASH HAS BEEN REMOVED.
 REFER TO THE APPROPRIATE PELLA INSTALLATION INSTRUCTION
 FOR COMPLETE STEP BY STEP INSTRUCTIONS.
 SHIM AND PLUMB UNITS AS REQUIRED.
 SEAL UNIT TO EXTERIOR / BLIND STOP.



SEAL THE UNIT TO EXISTING STOOL AND WINDOW SILL.
 SEAL ADJUSTABLE SILL ADAPTER TO EXISTING WOOD SILL.
 LEVEL UNITS AS REQUIRED.

NOTE:
 THE ADJUSTABLE SILL ADAPTER MAY BE REMOVED WHEN THE EXIST-
 ING WINDOW SILL HAS A SLOPE OF 12 DEGREES OR LESS.



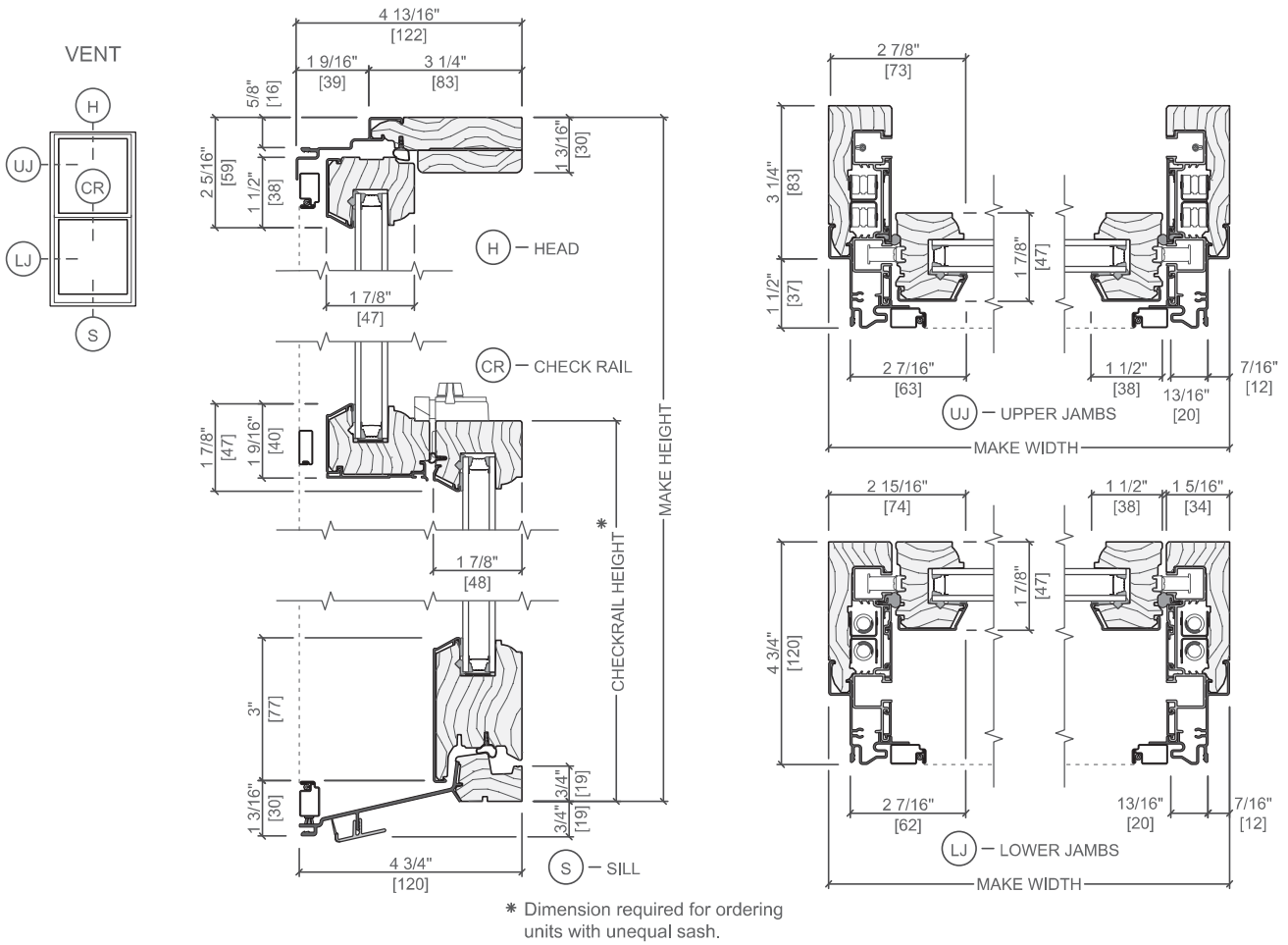
INSULATE ALL VOIDS AT WINDOW PERIMETER (BY OTHERS).
 SEAL UNIT TO EXTERIOR / BLIND STOP.

Scale 3" = 1' 0"

All dimensions are approximate.



Unit Section - Aluminum-Clad Exterior Putty Exterior Glazing Profile



Scale 3" = 1' 0"

All dimensions are approximate.

Agenda Item 5A: 811 North Ainsworth Ave

GENERAL NOTES

DIVISION 1 – GENERAL REQUIREMENTS

- These general notes and accompanying drawings are complimentary. All construction shall be as herein outlined and as shown on the drawings.
- All work shall be done in strict compliance with:
 - All state and local current codes
 - International Building Code (IBC) and International Residential Code (IRC), most current adopted edition.
- The contractor shall verify all dimensions and conditions on the drawings and in the field and shall notify the architect of any discrepancies prior to proceeding.
- The drawings shall not be scaled for dimensions.
- The contractor shall provide all necessary temporary support for walls, floors, and roofs prior to the completion of the vertical and lateral support systems.
- Contractor and owner initiated changes shall be submitted in writing to the architect for approval prior to fabrication or construction. Changes shown on shop drawings solely will not satisfy this requirement. Any proposed field changes must have prior written approval from the Architect.

DIVISION 2 – SITE WORK

- Cut slopes for permanent excavations and fills shall not exceed 2 horizontal to 1 vertical.
- All footings shall be excavated below all organic material. Remove all loose material in footing excavation prior to concrete pour.
- All footings shall bear on firm undisturbed soil below the frost line per Local Building Official.
- Concrete foundations supporting wood structures shall a minimum of 8 inches above adjacent grade.
- The finished grade shall fall a minimum of 6 inches within the first 10 feet away from the foundation walls.

DIVISION 3 – CONCRETE

- Minimum concrete compressive strength for shall meet the requirements of Table R402.2 IRC and section 1904 IBC.
- Minimum Foundation sizes shall be per table R403.1 IRC and section 1807 IBC.
- Slab on grade construction shall be a minimum of 4" concrete over 6mil vapor barrier over 4" minimum compacted gravel or sand base. Reinforce with #3 bars at 12" o.c. each way.
- Provide keyed control joints at 20 feet each way maximum. Joint locations shall be approved by Architect.
- Exterior walks and slabs shall have 3/4" tooled joints and 5 feet on center and 1/2" premolded expansion joints at 30 feet o.c.
- All reinforcing bars shall be ASTM A-615 grade 60, 60,000 psi unless noted otherwise (uno). Welded wire mesh shall be ASTM A-185.
- Reinforcing bars shall not be tack welded or field bent.
- Lap all continuous bars a minimum of 40 diameters unless otherwise noted (uno)
- Place all reinforcing bars and concrete per ACI codes and standards.
- Beam pockets in concrete walls shall have 1/2" air space around the beam and end. Posts and beams shall rest on pressure treated wood or metal bearing plates. Ends of beams and girders bearing on concrete or masonry shall not have a bearing of less than 3 inches.
- Anchor bolts shall be A-307. Anchor bolts shall be 1/2" diameter with plate washers 1/4"x3"x3" embedded 7" minimum in concrete at 6 feet o.c. maximum unless otherwise noted. Minimum of 2 bolts per section with one bolt not more than 12" or less than 7 bolt diameters from the each end of the plate section. Anchor bolt spacing shall be 4 feet maximum for buildings over two stories in height.
- Crawl space stem walls shall be dampproofed per section R406 (IRC) and 1805 (IBC). In areas of high water tables and severe soil-water conditions or walls that enclose habitable or usable spaces shall be waterproofed per section R406 (IRC) and 1805 (IBC).
- Install foundation drains with 4" perforated pipe surrounded by 12" clean gravel wrapped in geotextile filter fabric.

Division 6 – WOOD and PLASTICS

- All lumber shall be Douglas Fir Larch, U.N.O., and shall conform to the WWPFA grading rules. All lumber with a 2" nominal dimension or less shall be stamped surface dry and shall have a maximum 19% moisture content when surfaced and installed. All lumber with a 3" nominal dimension or greater shall be stamped surface-green and air-dried to a moisture content of 19% or less when installed.
- All lumber shall conform or exceed minimum grades per structural notes.
- Sills, sleepers, plates and posts in direct contact with concrete, earth, and weather shall be pressure treated in accordance to local requirements and Section 2303.1.9 (IBC)
- All headers at bearing walls shall be 2- 2x8 typical U.N.O.
- Double all joists parallel to partition walls.
- All 2x joists connected to flush beams and ledgers shall be connected with Simpson LU series joist hangers. All double 2x and skewed joists shall be connected to flush beams and ledgers with Simpson U series joist hangers. All sloping and or skewed roof rafters shall be connected to flush beams with Simpson LSSU series joist hangers.
- All post to beam connections and post to base connections shall be Simpson post base and caps.
- Metal connectors in contact with pressure treated lumber shall be galvanized. G185 coating minimum or stainless steel.
- Block solid between joists and rafters at bearing walls and intermediate supports. Block or cross-bridge at 8'-0" O.C. max when depth to thickness ratio exceeds 6:1 nominal.
- All plywood shall meet the APA standards with exterior glue. Install roof and floor sheathing with the face grain perpendicular to supports. Stagger end joints a minimum of two joists at roof rafters and floor joists.
- Minimum nailing / fastening requirements shall meet Table 2304.10.1 IBC.
- Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" Type X gypsum drywall or equivalent. Where the separation is a floor -ceiling assembly the structure supporting the separation shall also be protected by not less than 1/2" gypsum wallboard or equivalent.
- Cutting and notching stud walls shall not exceed 25% for bearing walls and 40% for non-bearing walls. Boring shall not exceed 40% for bearing walls and 60% for non-bearing walls.
- Provide wall bracing at exterior walls for interior shear walls as indicated on the drawings.
- Pre-manufactured trusses shall be designed for the loads and conditions shown on the drawings in accordance with the specifications of the manufacturer and the IBC. Fabrication and erection shall conform to the latest standards of the manufacturer and IBC Chapter 23, Division III. Design shall be stamped and signed by a licensed structural engineer registered in the state of Washington. Engineering data and installation instructions shall be provided prior to installation.
- Floor joists shall be 18" minimum and Girders shall be 12" minimum from the ground in the crawl space.

Division 7 – THERMAL AND MOISTURE PROTECTION

- Provide a minimum 24" wide strip of R-10 insulation at the edges of concrete slab on grade at conditioned spaces.
- Walls enclosing heated spaces shall be insulated with R-21 insulation inside or a combination of R-10 on the exterior and R-13 interior.
- All heating ducts located in unheated spaces shall be wrapped with 2" of insulation.
- Vapor barrier of 6 mil black visqueen lapped a minimum of 12".
- Minimum insulations values shall be as follows: Floor insulation R-30, Wall insulation R-21, Attic insulation R-49 or R-38 ADV. Vaulted ceilings R-38c.
- Attic insulation shall have a minimum 1" vented air space for attic ventilation.
- Hot water heaters shall be raised above concrete slabs on R-10 insulated pad.
- Provide minimum foundation ventilation for crawl spaces at the ratio of 1 sq ft ventilation per 150 sq ft of crawl space. One ventilation opening shall be located within 3 feet of each corner of the building.
- Provide a minimum attic ventilation of 1/150th of attic space or 1/300th if 50% or 80% of venting is located near the top.
- Vapor retarders shall be installed on the warm side of the insulation. Vapor retarders shall be 15lb building paper or kraft paper, foil back or kraft back insulation.
- Roofing shall be minimum class "A" rated material and as shown on the drawings.
- All roofing shall be installed per the manufacturer's specifications and Chapter 9 IRC.

Division 8 – DOORS and WINDOWS

- All vertical glazing shall be as noted on drawings with a maximum u-value .30 or less. Overhead glazing shall have a maximum u-value of .50. All glazing shall comply with current Washington Sate Energy Code requirements and shall bear compliance stickers until approved by the building department. Doors which are greater than 50% glazing shall be considered windows for energy compliance. Windows shall have ventilation ports.
- All skylights shall be double-glazed with wired or tempered glass.
- All glazing within 18" of the floor and 24" of a door swing shall be tempered glazing. All glazing in walls enclosing stairway landings or within 5 feet of the bottom or top of a stairway where the bottom edge of the glass is less than 60" above the walking surface shall be tempered.
- Safety glazing is required per section 2406 IBC.
- All glazing in doors shall be safety glazing.
- All emergency egress windows from sleeping rooms and basements shall have a minimum clear opening of 5.7 sq ft. with a net opening of 24" high and 20" wide and a finish sill height of 44" above the finished floor.
- Glazing shall conform to IBC chapter 24 and Federal Standard for Architectural Glazing Materials.
- All exterior doors or doors to unheated spaces shall be weather-stripped and have a solid core. Garage / dwelling doors shall have a 20 minute rated door tight fitting door with a self-closing door hinge.

Division 9 – FINISHES

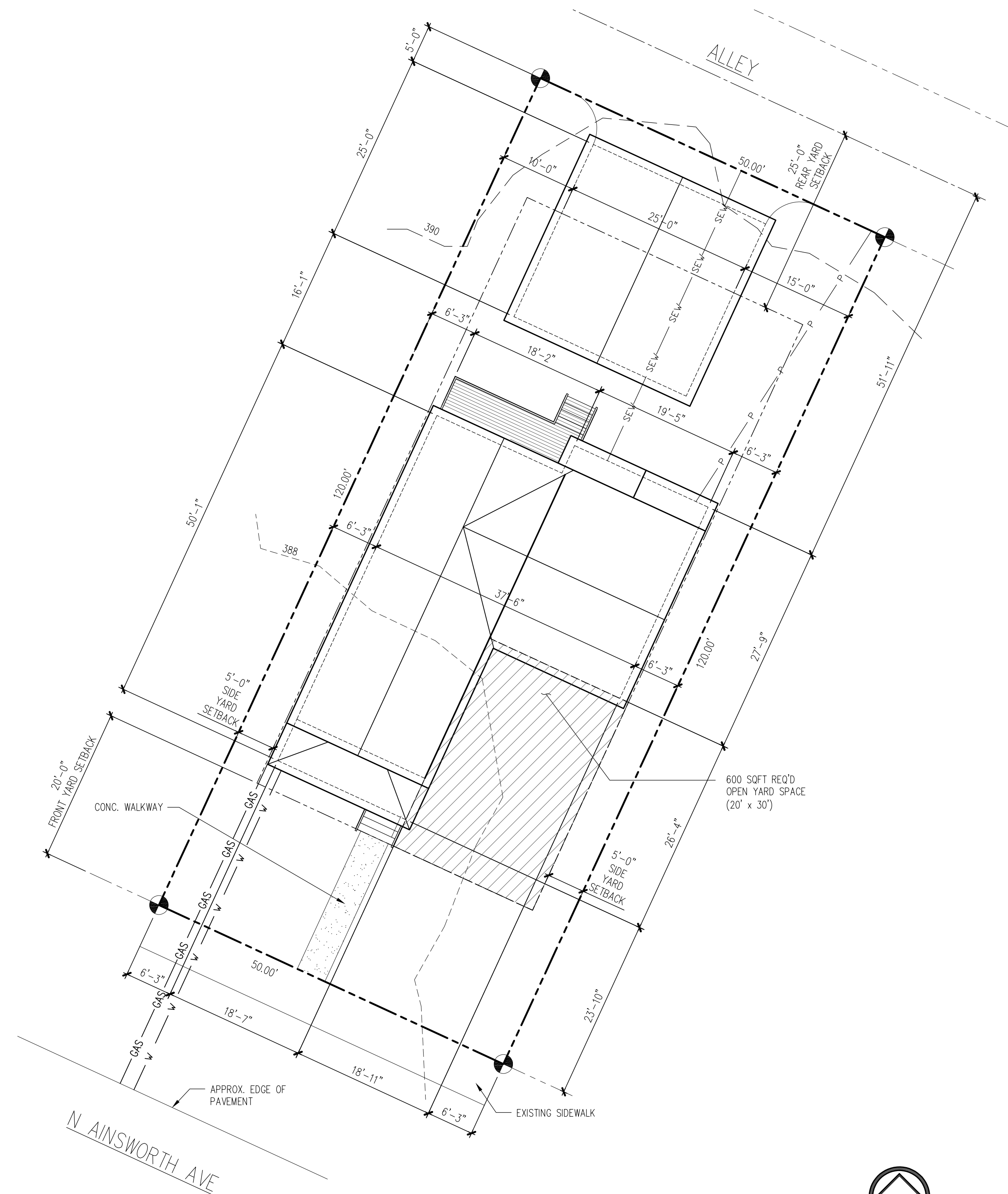
- All walls and ceilings in both areas shall be finished with an approved waterproof gypsum wallboard.
- Showers shall be finished to 70" above the drain inlet to with a smooth, hard, non-absorbent material.
- All utility areas containing laundry facilities shall be finished with an approved waterproof gypsum wallboard or approved water resistant material in wet locations.
- All bath, kitchen, and utility room floors shall be vinyl, tile or other approved non-absorbent material.
- Kitchens, Baths, and Utility rooms shall be painted with a minimum of two coats enamel paint or other approved washable surface material.

Division 15 – MECHANICAL

- All ductwork shall be installed without Impeding on building surfaces.
- Provide and install plumbing and fixtures as indicated on drawings according to the most current adopted edition Uniform Plumbing Code.
- Vent clothes dryers, exhaust fans, and range hoods to the outside and provide back draft dampers. Exhaust fans are required at all kitchens, baths, and laundry rooms. Baths and laundry rooms shall have a minimum of 50 cfm. Whole house exhaust fans and kitchen range hoods shall have a minimum of 150 cfm.
- Provide outside combustion air for all solid fuel-burning appliances such as fireplaces and woodstoves. Provide combustion air for all fuel-burning furnaces per the International Mechanical Code and International Fuel Gas Code.
- Provide tight fitting glass doors at fireplaces. Install fire dampers at all fireplaces.
- Appliances in garages shall be protected from vehicle damage. Pilot lights and burners shall be located 18" minimum above the garage floor.
- Hot water heaters shall be anchored and strapped to resist horizontal movement due to earthquake motion. Temperature and pressure relief valves shall be drained to the outside. The drain shall not be trapped and shall terminate not more than 24" or less than 6" above the ground. Provide drain pan under hot water heaters with drain to outside.
- Provide drain pan under washing machine with drain to outside.
- Hose bibs shall be protected with a listed non-removable backflow preventer. Freeze resistant types shall be installed in all exterior locations.
- Integrated forced air ventilation systems shall have a 6" diameter or equivalent outdoor air inlet connecting to a terminal element on the outside of the building from the return air plenum. The outdoor air inlet shall be equipped with a device that regulates the airflow to a minimum of .35 but not greater than .50 air changes per hour under normal operating conditions. The system shall be designed by a registered HVAC contractor and submitted to the building department for review and approval.
- All HVAC equipment shall meet the most current adopted edition of the Washington State Energy Code.

Division 16 – Electrical

- All electrical wiring and installation shall be as required by state and local codes and the ICC Electrical Code.
- Each dwelling shall have approved smoke detectors interconnected and wired to the electrical source with a battery back up. The smoke detectors shall be installed in each of the sleeping rooms, in a centrally located space adjoining the sleeping rooms, and on each story of the building. Locate per the drawings. Wall mounted smoke detectors shall be located between 6" and 12" from the ceiling.
- Provide GFCI circuits at all exterior locations, baths, kitchens, garages, and as noted on drawings.
- All receptacles shall be grounded type. Receptacles located in kitchens and baths shall be installed above the working surface unless noted otherwise. Receptacles are typically located 12" above the floor, U.N.O.
- Wall switches shall be installed at 42" above the floor, U.N.O. Wall switches connected to duplex receptacles shall solely operate the top outlet.
- All light fixtures shall be left connected to a proper electrical source and in operating condition with proper bulbs installed.



SITE PLAN

PROJECT INFORMATION

TAX ACCOUNT NUMBER: 2038310050
 LEGAL DESCRIPTION: Section 31 Township 21 Range 03 Quarter 44 : NEW TACOMA L 6 & 7 B 3831 INC 10 FT ALLEY VAC

PROJECT DATA:
 JURISDICTION: CITY OF TACOMA
 ZONING: HMR-SRD-HIST

BUILDING LOT COVERAGE:
 LOT AREA: 6,000 SQFT

PROPOSED BUILDING FOOTPRINT
 RESIDENCE: 1,425 SQFT
 GARAGE: 625 SQFT
 TOTAL: 2,050 SQFT

LOT COVERAGE = 2050 SQFT / 6000 SQFT = 34.2%

REQUIRED SETBACKS
 FRONT YARD = 20'
 REAR YARD = 25' (FROM CL OF ADJACENT ALLEY)
 SIDE YARD = 5'

BUILDING HEIGHT:
 MAXIMUM BUILDING HEIGHT = 35'
 PROPOSED BUILDING HEIGHT = 28'-6 1/2"

ANDY HARFST, DESIGNER
 1115 YAKIMA AVE S #2
 SEATTLE, WA 98144
 360-259-7634

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 Tacoma, WA 98403

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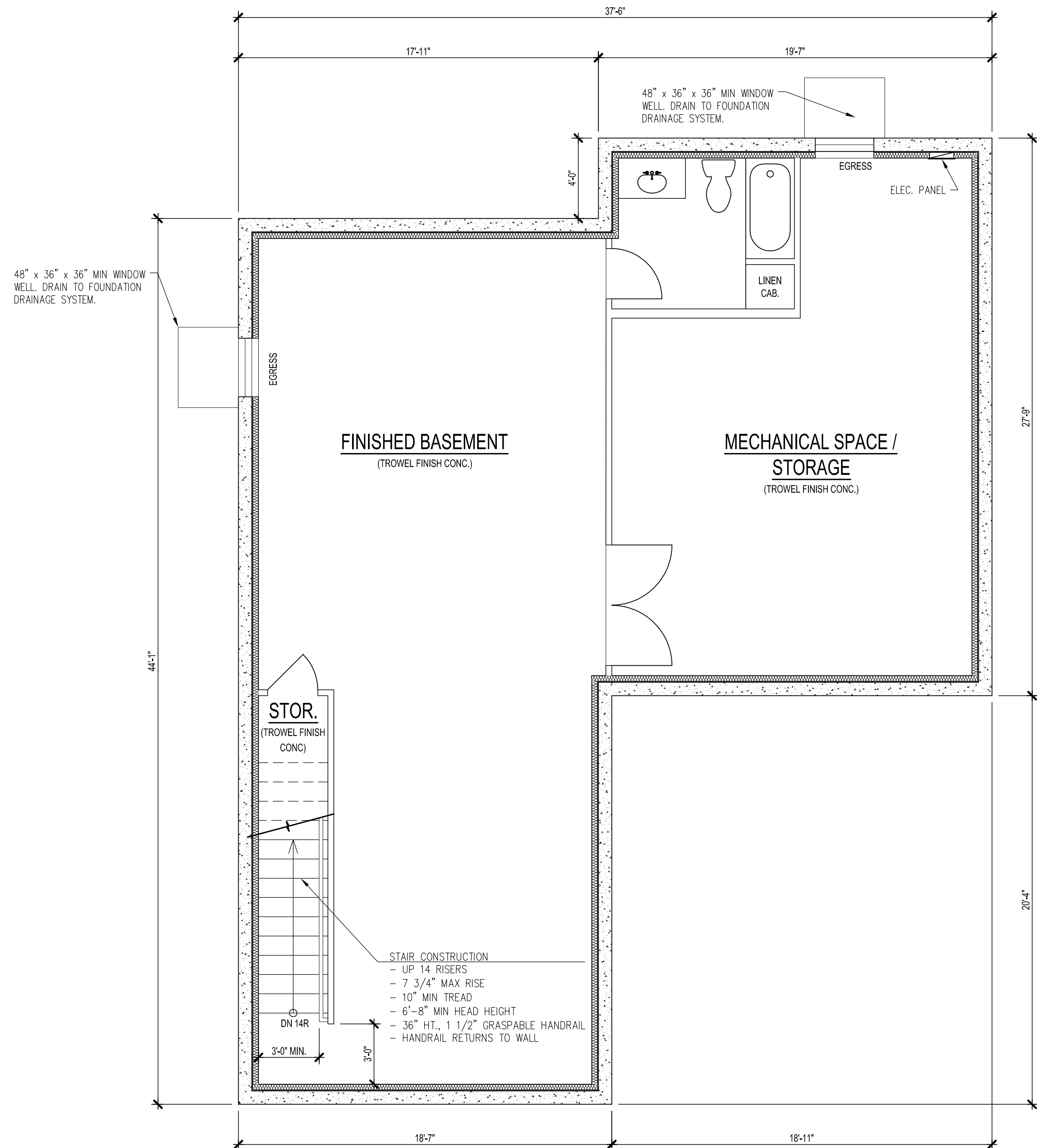


SCALE : 1"= 10'-0"

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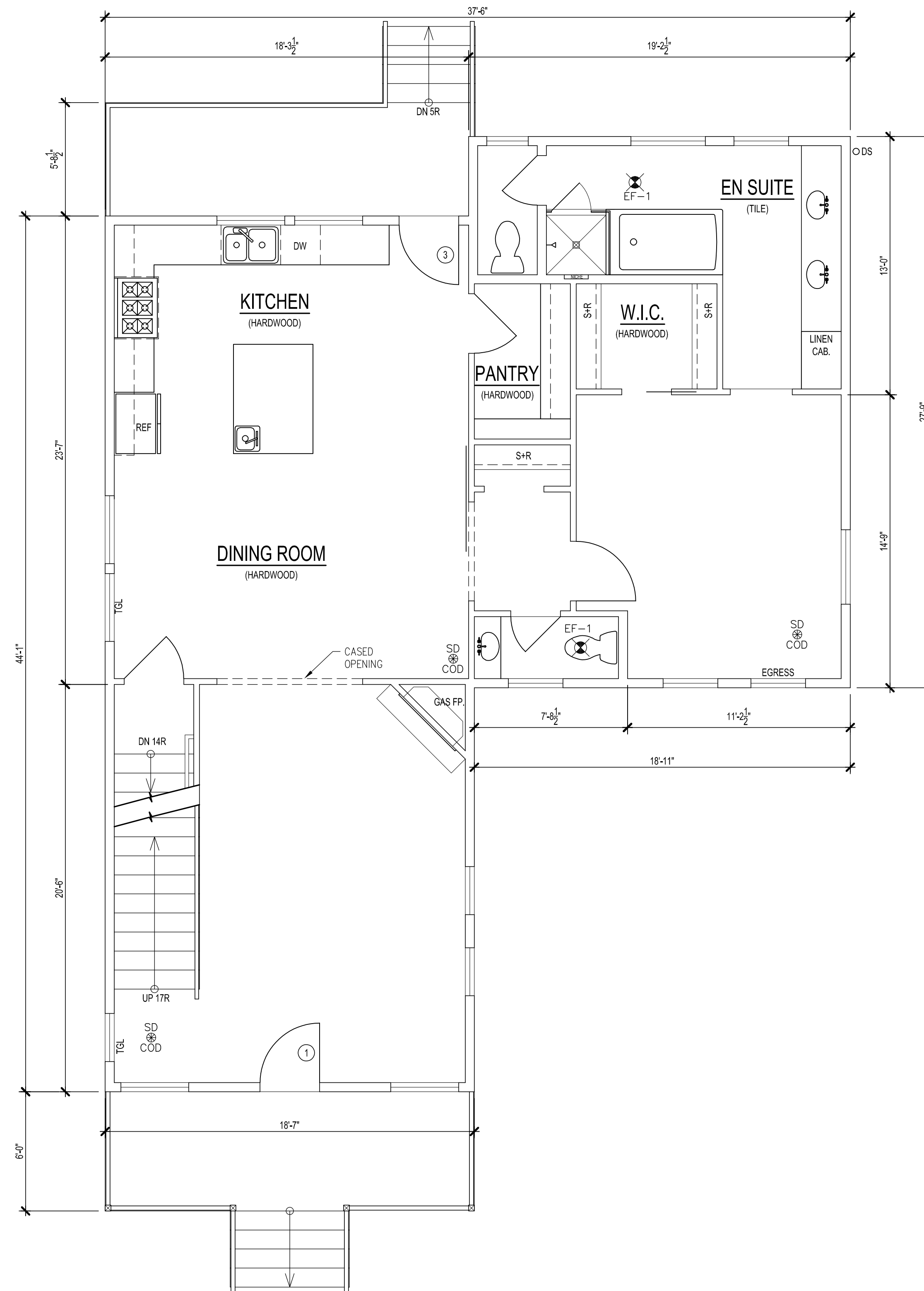
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GENERAL INFORMATION & SITE PLAN



BASEMENT FLOOR PLAN

SCALE: 1/4\" = 1'-0\"



MAIN FLOOR PLAN

SCALE: 1/4\" = 1'-0\"



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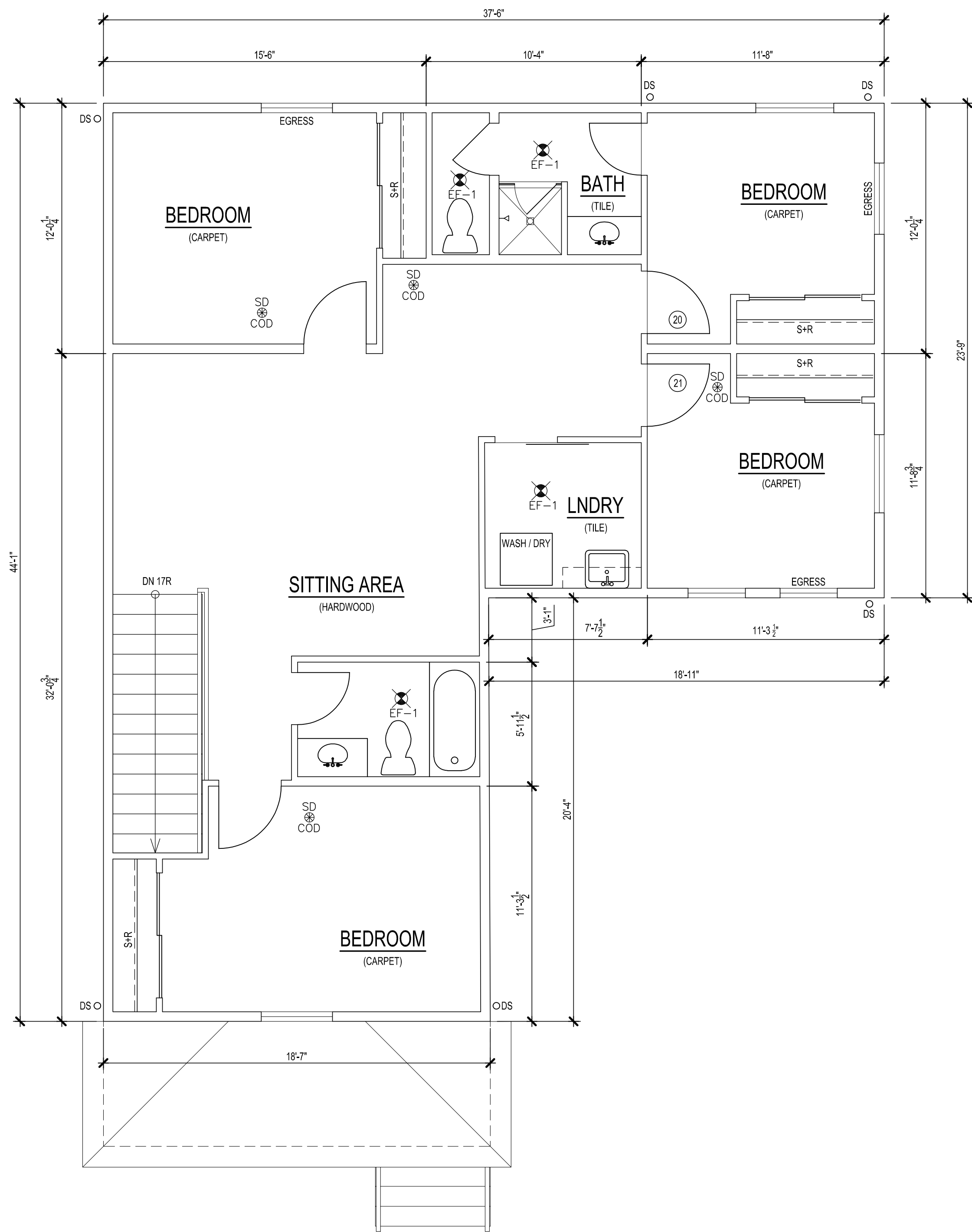
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BASEMENT & MAIN FLOOR PLANS



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



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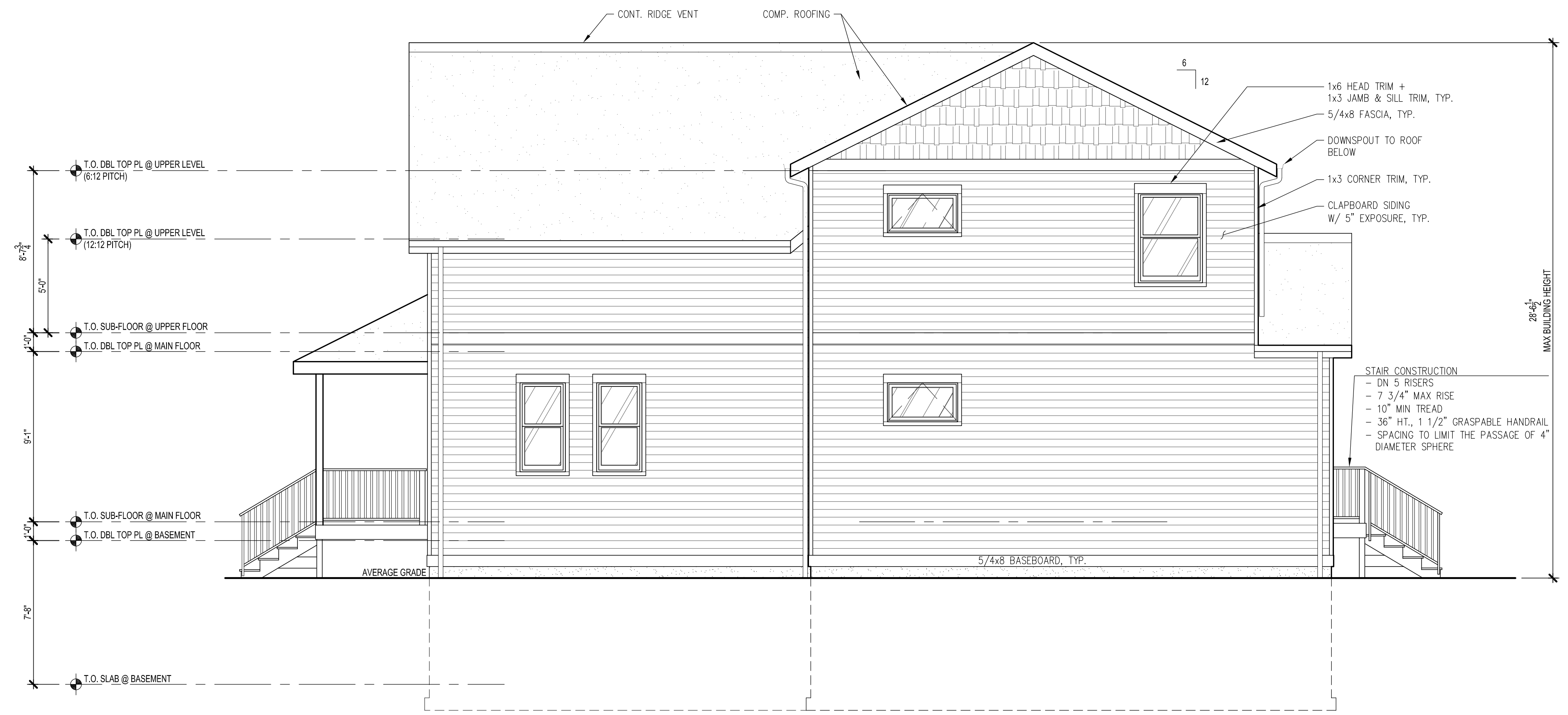
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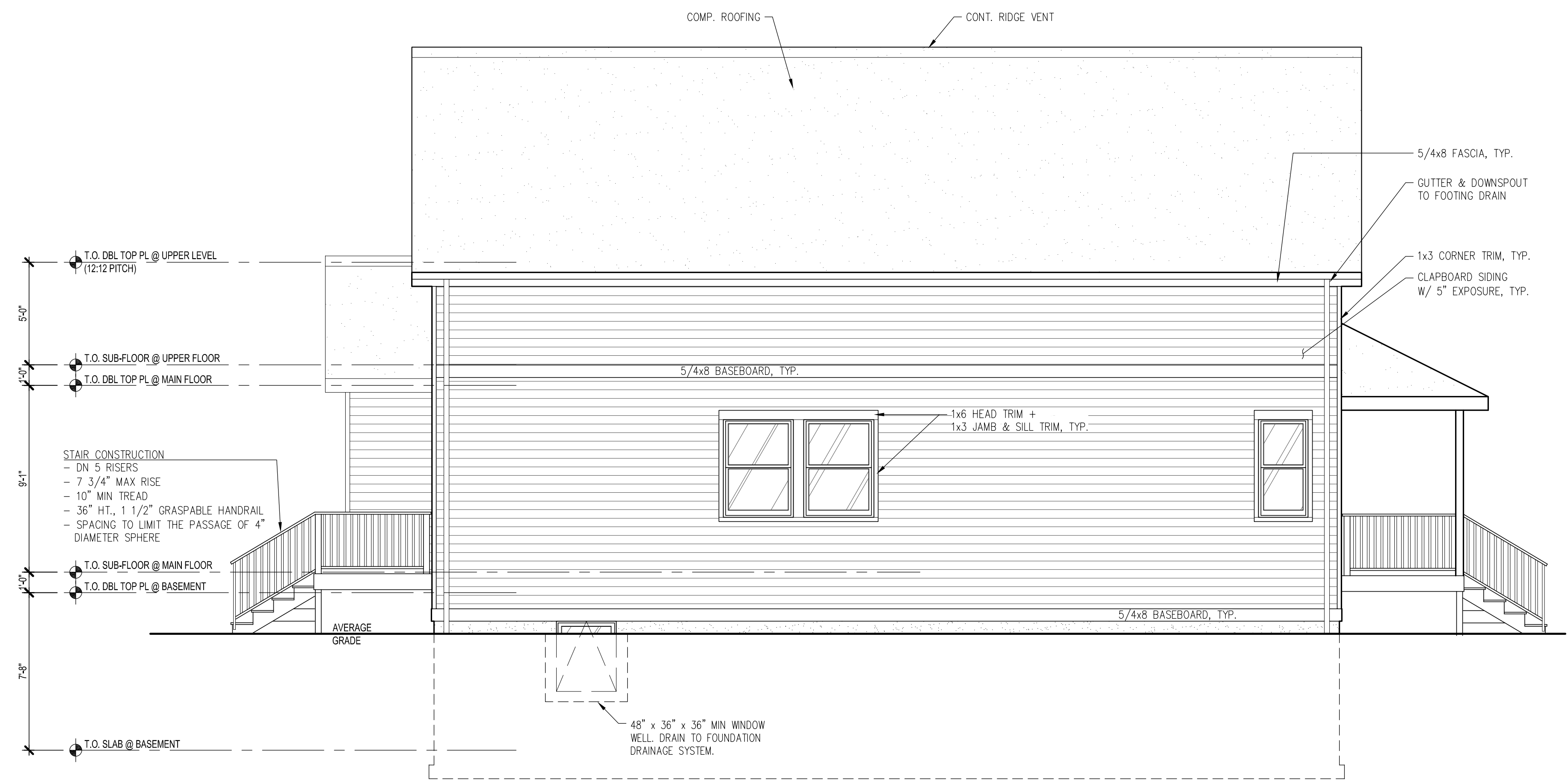
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UPPER FLOOR PLAN & SCHEDULES



EAST ELEVATION
SCALE: 1/4" = 1'-0"



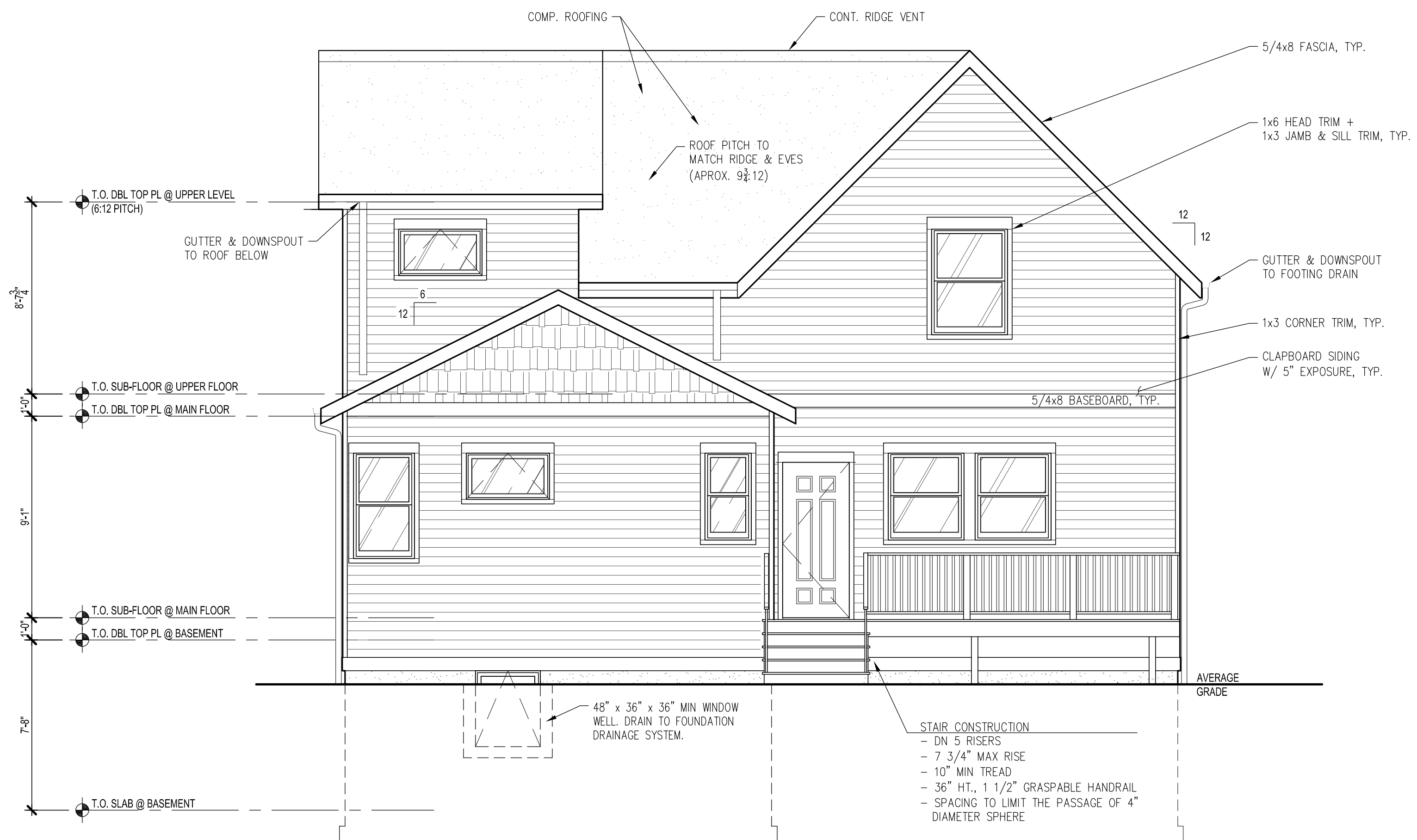
WEST ELEVATION
SCALE: 1/4" = 1'-0"

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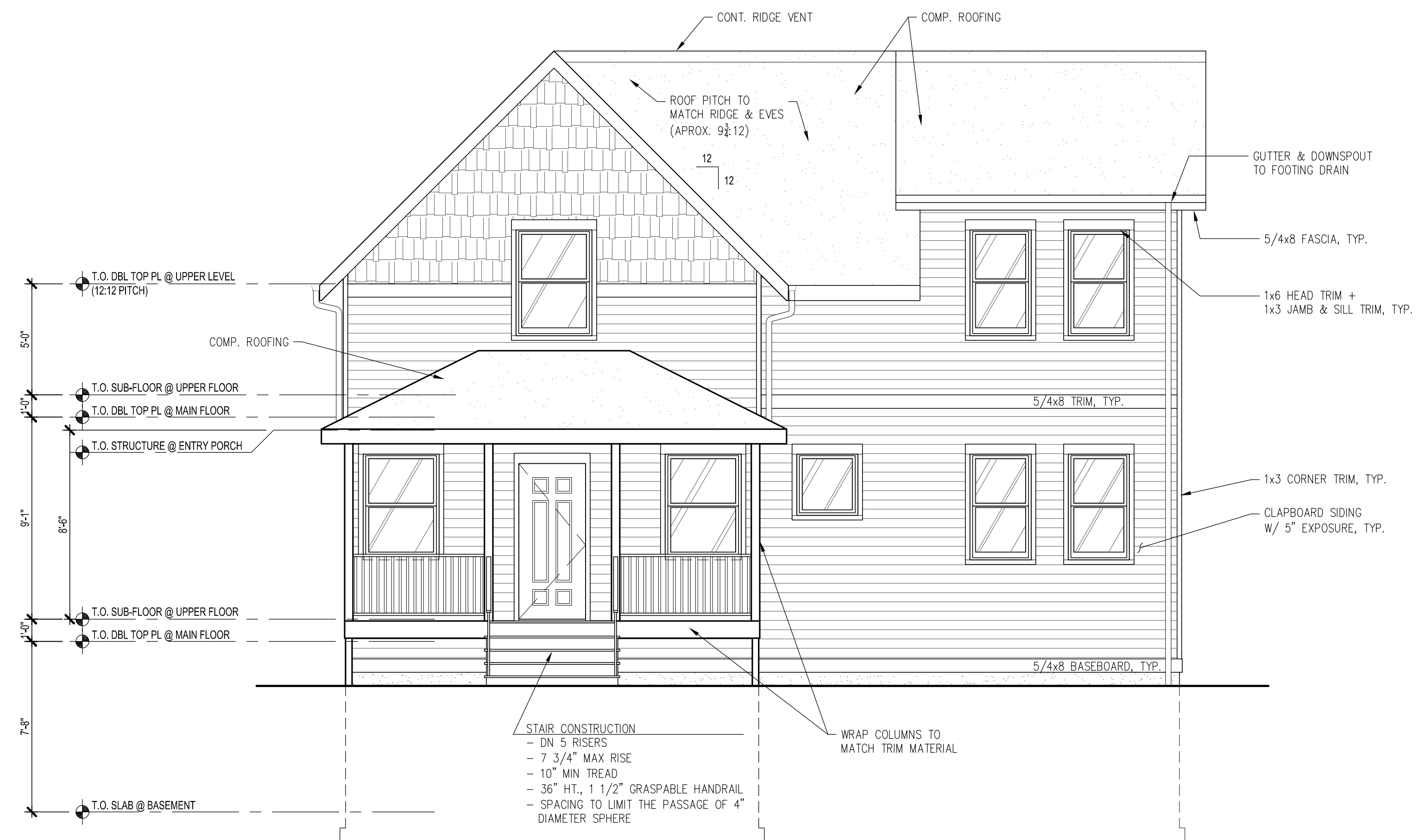
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BUILDING ELEVATIONS



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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BUILDING ELEVATIONS