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Reuben McKnight, Historic Preservation Officer
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BT Doan, Office Assistant



Agenda

Landmarks Preservation Commission Planning and Development Services Department

Date: May 13, 2020
Time: 5:30 p.m.
Location: Virtual (see below)

INFORMATION ABOUT VIRTUAL MEETINGS

To comply with Governor Jay Inslee's Proclamation 20-28 in response to the COVID-19 pandemic, this meeting will not be conducted in-person and the agenda has been limited to necessary and routine matters before the Landmarks Commission. The meeting can be attended remotely at <https://us02web.zoom.us/j/83929077881>, or by dialing +1 (253) 215-8782 and entering the meeting 839-2907-7881, when prompted.

Microphones will be muted and cameras turned off for all participants during the meeting, except for the Commissioners and presenters.

Public comments on discussion items will NOT be accepted at the meeting. The public may submit comments in writing prior to the meeting, by 4:00 p.m., on May 13th. Please e-mail your comments to landmarks@cityoftacoma.org, put in the subject line "LPC Meeting 5/13/20", and clearly indicate which agenda item(s) you are addressing.

1. ACKNOWLEDGEMENT OF INDIGENOUS LANDS

2. ROLL CALL

3. DESIGN REVIEW

		Page #	
A.	506 N L St (North Slope Historic District) <i>Exterior alterations</i>	4	10 m
B.	1007 N Sheridan Ave. (North Slope Historic District) <i>Garage conversion to DADU</i>	32	10 m

4. PRESERVATION PLANNING/BOARD BUSINESS

A.	Events & Activities Update	45	3 m
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5. CHAIR COMMENTS

This agenda is for public notice purposes only. Complete applications are posted online at www.cityoftacoma.org/lpc-agenda.



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STAFF REPORT

May 13, 2020

DESIGN REVIEW

AGENDA ITEM 3A: 506 North L Street (North Slope Historic District)

Pam Derry, Tonkin Architecture

BACKGROUND

Built in 1900, this is a contributing property in the North Slope Historic District that is highly deteriorated. The Landmarks Preservation Commission conducted a site visit on July 24, 2019. During the exploratory demolition, four stone pillars on the front porch fell down due to structural inadequacies. Most other architectural details have been removed. The owner received a Notice of Violation from the City on 9/23/19 for “extensive remodeling without a permit.”

On November 13, 2019, the owner briefed the Commission. The Commission expressed concern about the amount of material that had been removed without prior approval and requested that the applicant return with detailed elevation drawings, a proposed materials list and an inventory of what was removed, including photos of the existing condition, and detailed drawings of the proposal in as close resemblance to the historic house as possible. The owner has since hired Tonkin Architecture to lead the project and provide the requested materials.

On April 22, 2020, the Commission deferred until the applicant could provide updated plans including restoring the upper balcony railing, corbel design on the front and side pediments, and the stonework on the base of the porch. The Commission also requested wood windows on the first floor and original wood siding on the front facade

The applicant has updated the plans in response to the Commission’s requests and is now seeking approval for the rehabilitation of the structure. The revised proposal includes:

- The salvage and in-kind replacement of the existing porch columns. The stone bases are not extant and will be replaced with concrete piers and Manor Stone split face blocks to approximate the appearance of stone.
- The porch and porch roof will also be rebuilt to match the historic design.
- Original siding on the front facade will be retained and restored with the 233 sf salvaged from the home, with new wood woven in where needed
- Remainder of the home will be resided with smooth faced fiber cement lap siding and shingles
- All windows will be replaced with Pella Impervia fiberglass windows, except for the front porch windows, which will be Pella wood windows. The egress window in the bay is too large for a single casement sash and must be divided into a split casement or single hung window.
- Also included in the plans is the rehabilitation of the existing garage with matching materials.

ACTION REQUESTED

Approval of the above scope of work,

STANDARDS

North Slope Historic District Design Guidelines for Windows, Siding, Doors, Porches, and Garages

ANALYSIS

1. This property is in the North Slope Historic District and, as such and, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications.
2. The house was highly deteriorated and most of the original windows were removed prior to the current owner’s purchase. The proposed replacement windows have been previously approved in the district.

3. Original siding on the front pediment and facade is being retained and/or restored with siding salvaged from the building. The proposed replacement siding is consistent with the district design guidelines.
4. The proposed changes to the garage and doors is consistent with the design guidelines.
5. The porch columns are either being repaired or replaced in-kind, the porch and porch roof are being rebuilt to match the existing design.
6. The applicant has incorporated the Commission's requests from the April 22nd meeting.

RECOMMENDATION

Staff recommends approval of the application, with a recommendation for a single hung bay egress window in favor of a split casement.

Recommended language for approval:

I move that the Landmarks Preservation Commission approve the application for 506 North L Street as submitted.

Recommended language for deferral:

I move that the Landmarks Preservation Commission defer the application for 506 North L Street, pending submittal of [cite additional information needed to review application].

Recommended language for denial:

I move that the Landmarks Preservation Commission deny the application for 506 North L Street, based on the following [cite design guidelines.]

AGENDA ITEM 3B: 1007 N. Sheridan Ave. (North Slope Historic District)
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Haley Ladenburg, Ferguson Architecture

BACKGROUND

Built in 1926, this is a contributing structure in the North Slope Historic District. This proposal is for the renovation of the existing single-car garage into a detached accessory dwelling unit (DADU). Minimal exterior changes include infill of an existing garage opening to match adjacent cedar lap siding and replacement of existing windows with Milgard fiberglass windows. There will be no change to the existing footprint or the existing composition shingle gabled roof. There will also be no changes to the main house.

ACTION REQUESTED

Approval of the above scope of work,

STANDARDS

North Slope Historic District Design Guidelines for Accessory Structures and Parking

ANALYSIS

1. This property is in the North Slope Historic District and, as such and, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications.
2. There will be no change to the location and size of the exiting garage structure.
3. Siding and window changes match the existing materials and the district design guidelines. The alterations are minimally visible from the primary right of way.

RECOMMENDATION

Staff recommends approval of the application.

Recommended language for approval:

I move that the Landmarks Preservation Commission approve the application for 506 North L Street as submitted.

Recommended language for deferral:

I move that the Landmarks Preservation Commission defer the application for 506 North L Street, pending submittal of [cite additional information needed to review application].

Recommended language for denial:

I move that the Landmarks Preservation Commission deny the application for 506 North L Street, based on the following [cite design guidelines.]

AGENDA ITEM 4A: Events & Activities Update – Preservation Month
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Staff

Due to COVID-19, event-planning details/formats for events may change as public health recommendations and current circumstances change.

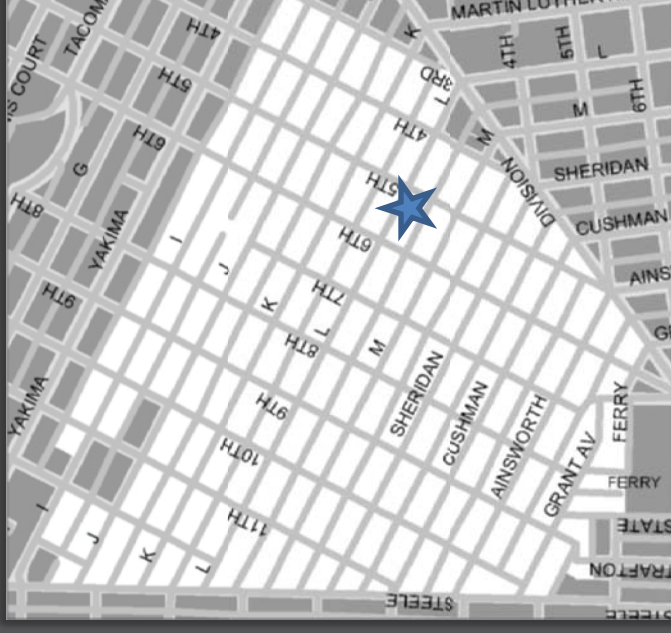
2020 Events

1. Historic Preservation Month, May
 - I. Sherman Elementary Virtual Salmon Release (May 16th)
 - II. Virtual Proctor Walking Tour (1pm, May 17th)
 - III. The Salish Sea Then, Now, and in the Future TBD
 - IV. Historic Preservation Awards **POSTPONED**
 - V. Virtual Wapato Park Bike Ride (7:30pm, May 30th)

Item 3A: 506 N L Street

505 NORTH L STREET HISTORIC FOURPLEX RENOVATION

- Main structure constructed in 1900
- Contributing building in the North Slope Historic District
- Rear portion appears to be a later addition
- Historically the building appears to have been an 8 bedroom boarding house
- Numerous unpermitted modifications appear to have been made over the years
- In 2017 the previous owner was given notice that the building would be demolished.
- The building was in extremely poor condition when Kayeli Ventures purchased it in 2019.
- City Planning staff has determined that the site has non-conforming use rights for 4 dwelling units under the City's Non-Conforming Code, TMC 13.06.630

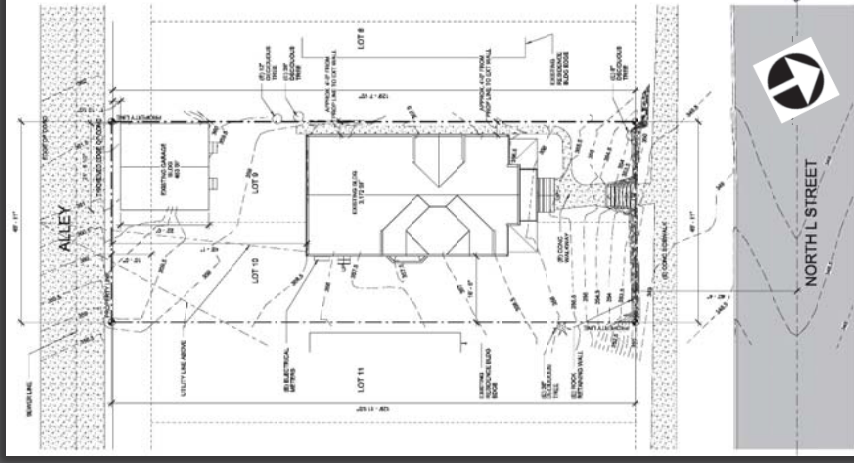


Located in North Slope Historic District

KAYELI VENTURES LLC

TONKIN
architecture

VICINITY AND EXISTING SITE



KAYELI VENTURES LLC

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architecture

1977 and 1996 Photographs



1977



1996

1996 photograph shows increased loss of original features at the front balcony.

KAYELI VENTURES LLC

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1977 Photographs



1977 Photographs are the best historical record for windows, but do not represent the state of the building when Kayeli Ventures purchased it.

KAYELI VENTURES LLC

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June 2019 Photographs from Video



When Kayeli Ventures purchased the property in the spring of 2019, the building was in extremely poor condition. In 2016 the City had noted that the building was unfit for habitation and had given notice that it would be demolished in 2017. At a hearing in 2017, Building Inspector Swick stated, “Windows and window frames are missing, damaged, or poorly maintained.”

Front Porch



1977



July 2019



August 2019

Porch base: Stone bases and lattice
Roof deck but no record of original railing



1996

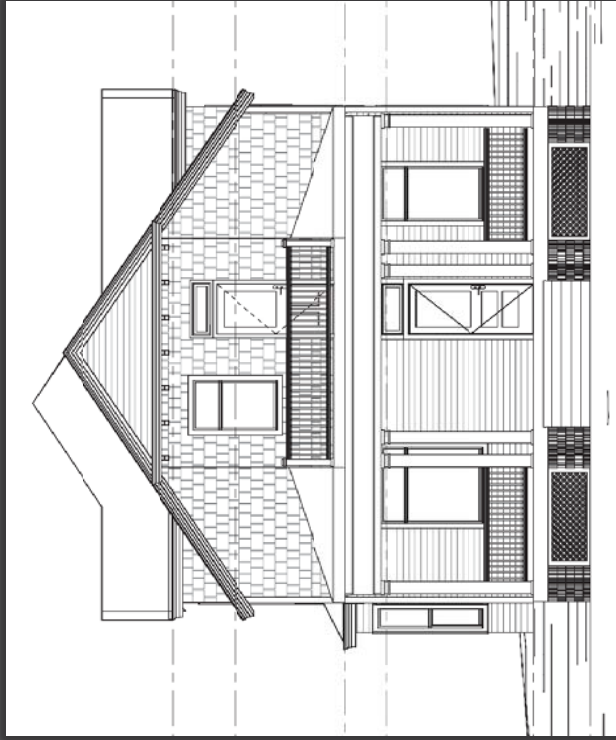


1977

KAYELI VENTURES LLC

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architecture

HISTORIC AND PROPOSED STREET ELEVATIONS



Historic

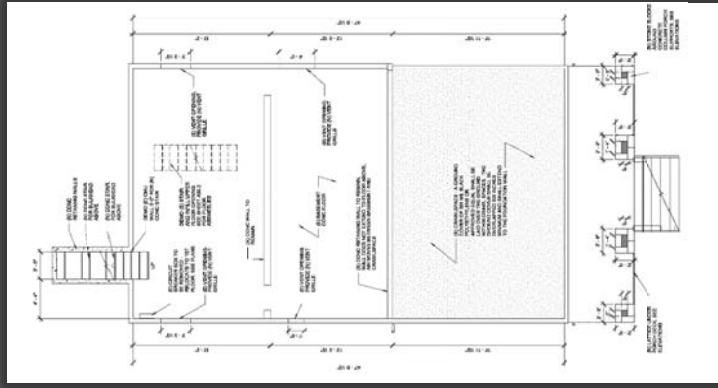


Proposed

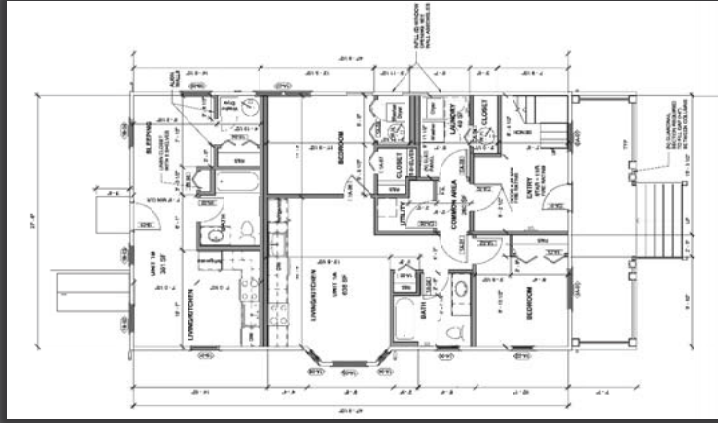
KAYELI VENTURES LLC

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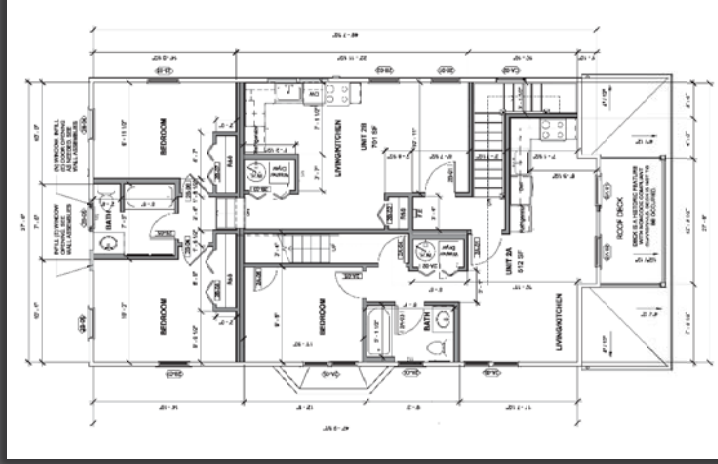
PROPOSED FLOOR PLANS



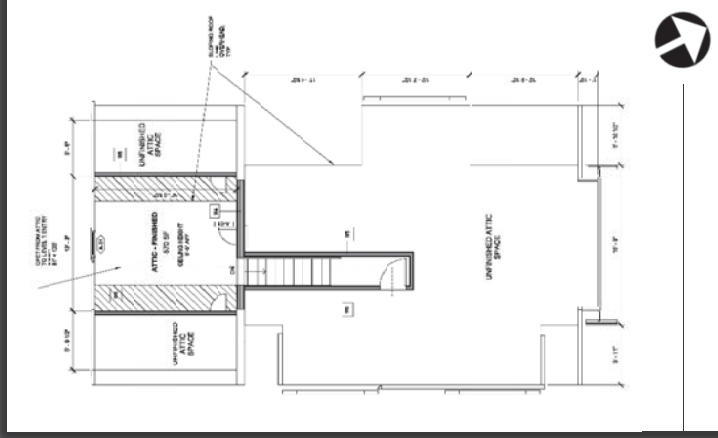
Basement



First Floor



Second Floor



Attic

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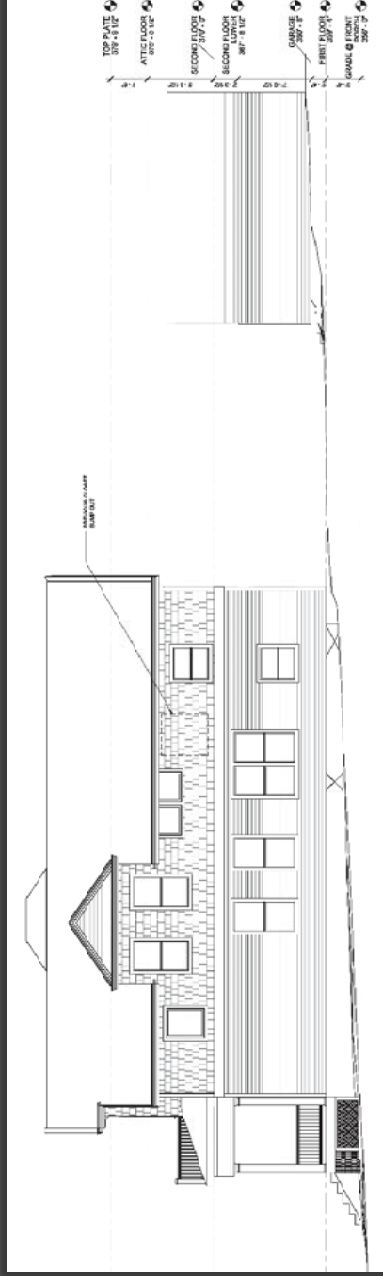
Dentil Trim



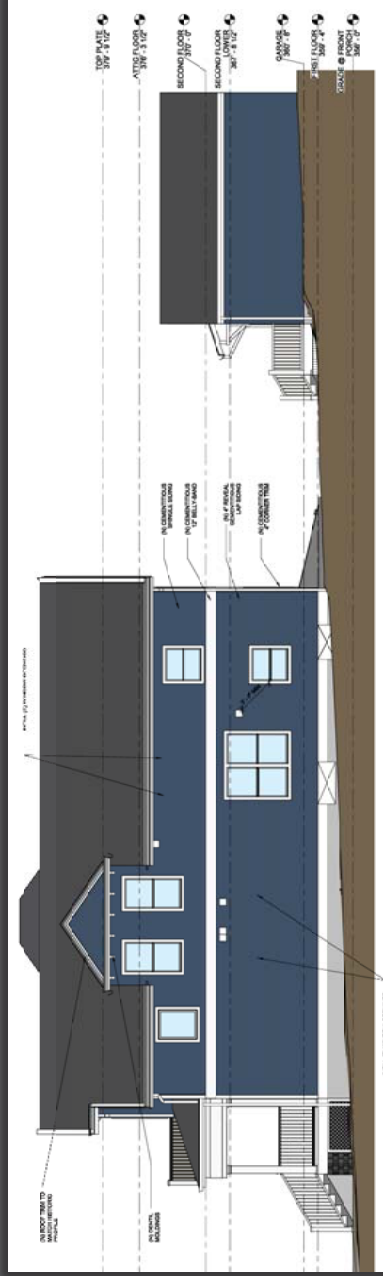
Dentil trim below front pediment.
Can't find any photographic evidence of dentil trim on the side elevations
Can be placed below the pediments on the side elevations, but no historic evidence for it.



HISTORIC AND PROPOSED WEST ELEVATIONS



Historic



Proposed

East Bay Window



1977

Historically fixed window, but had been replaced before Kayeli Ventures purchased the property. Building code requires an egress window. The opening is too big for a full casement window. Viable options are a split casement window or a single hung window.



June 2019

East Bay Window



1977

Fixed bay window had been replaced before. Kayeli Ventures purchased the property. Building code requires an egress window. The opening is too big for a full casement window. Viable options are a split casement window or a single hung window.



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RENDERING OF PROPOSED FRONT ELEVATION



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INVENTORY OF SALVAGED MATERIAL

Porch Columns:

- 2 round porch columns
- 2 square porch columns (2 square columns and 2 pilasters were too rotten to salvage. We propose to replace them and to match them to the salvaged columns)

Siding:

- Most original siding was too rotten to salvage.
- Salvaged siding 700 board feet of 4" wide = 233 square feet.



PROPOSED MATERIALS

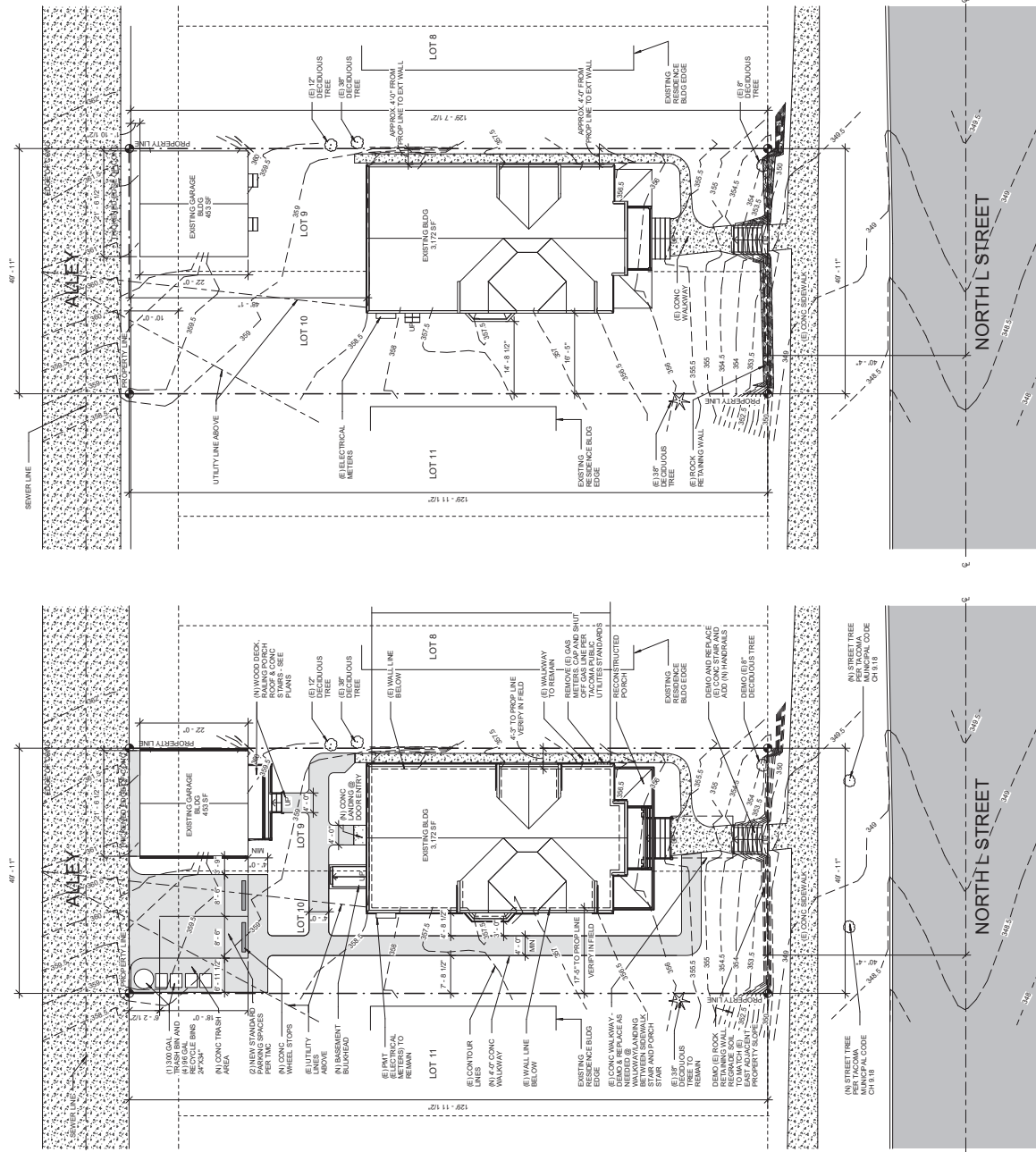
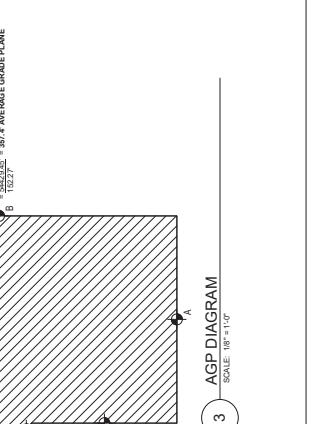
- Majority of windows to be Pella Impervia fiberglass
- 2 first floor windows at front porch to be Pella Reserve wood windows
- Majority of lap siding to be: 5.25" wide smooth fiber cement lap siding (4" reveal to match historic siding reveal)
- At front pediment and front first floor elevation original wood siding (4" reveal) with replacement wood siding where necessary
- Fiber cement shingle panels
- Masonite Heritage doors
- TimberTech Reserve railings
- Fiber Cement smooth finish trim
- Roofing: Certainteed Landmark "Charcoal Black"
- Stone porch bases (originals not in existence) to be replicated with ManorStone split face blocks around concrete columns.
- Lattice infill between porch bases

SITE LEGEND

SITE AREA	OVERALL SITE AREA = 6,000 SF
GROSS BUILDING AREA	BASEMENT = 4,018 SF (EXISTING) CRAWL SPACE = 402 SF (EXISTING) MAIN BUILDING (HOUSE) = 1,381 SF (EXISTING) SECOND FLOOR = 1,381 SF (EXISTING) EXTERIOR PORCH = 289 SF (TO BE RECONSTRUCTED) EXISTING GARAGE = 403 SF (EXISTING) EXISTING DRIVEWAY = 94 SF (EXISTING)
PROPOSED TOTAL IMPERVIOUS SURFACE AREA	EXISTING BUILDING OVERALL TOTAL NOT INCLUDING CRAWL SPACE = 4,946 SF
BUILDING FOOTPRINT (ALL EXISTING)	MAIN BUILDING (HOUSE): 1,381 SF GARAGE: 403 SF EXISTING OVERALL TOTAL = 1,784 SF
BUILDING LOT COVERAGE	BUILDING FOOTPRINT / OVERALL SITE = 1,784 SF / 6,000 SF = 29.7%
BUILDING HEIGHT (ALL EXISTING)	BASEMENT FLOOR TO 1ST FLOOR (FINISH FLOOR LEVEL) = 6'-0" 1ST FLOOR TO 2ND FLOOR (FINISH FLOOR LEVEL) = 7'-3 1/2" 2ND FLOOR TO 2ND FLOOR (FINISH FLOOR LEVEL) = 7'-3 1/2" ATTIC FLOOR TO ROOF PLATE = 2'-0" TO PLATE TO ROOF TOP = 8'-0" OVERALL BUILDING HEIGHT = 12'-0" OVERALL BUILDING HEIGHT TO ROOF TOP = 12'-0" OVERALL BUILDING HEIGHT TO FINISH FLOOR = 12'-0"
USABLE YARD SPACE	LOT SIZE: 6,000 SF USABLE YARD SPACE: 3,400 SF COMMON YARD SPACE: 3,400 SF (50% + 50% + 20% MIN REQUIREMENT) 100% + 30% MIN REQUIREMENT NO PRIVATE YARD SPACE IS PLANNED FOR SITE

AVERAGE GRADE PLANE CALCULATIONS

MARKET ELEV	EXTERIOR WALL
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GW = 117.0	GX = 117.0
GX = 117.0	GY = 117.0
GY = 117.0	GA = 117.0



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DRAWN BY: SCHEMATIC 02/09/20
CHECKED BY: LANDMARKS PESS 4/20/20

NO	REV	DATE

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SITE PLAN - EXISTING AND PROPOSED

SCALE: AS SHOWN
PLOT DATE: 04/20/20
PROJ. NO.: PD
DWTOR: PD
AM

SHEET NO: **A11.1**

NOT FOR CONSTRUCTION

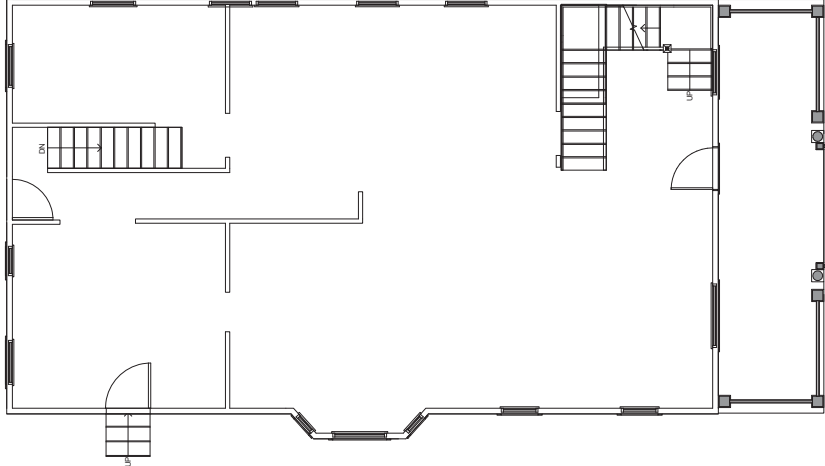
NO.	REV.	DATE

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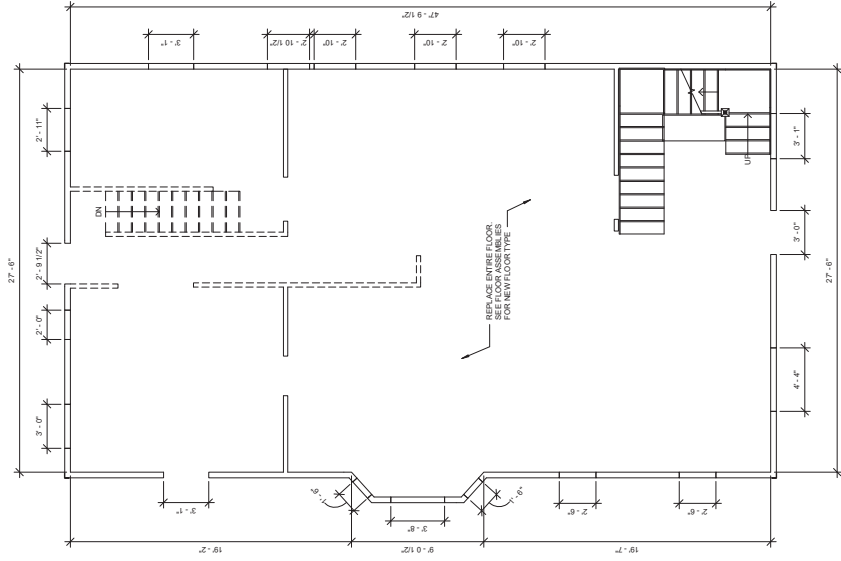
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DATE: 04/28/20
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PROJ. NAME: PD
SHEET NO.: AM

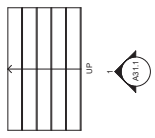
A20.1



1 FIRST FLOOR PLAN-HISTORIC
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN-EXISTING & DEMO
SCALE: 1/8" = 1'-0"



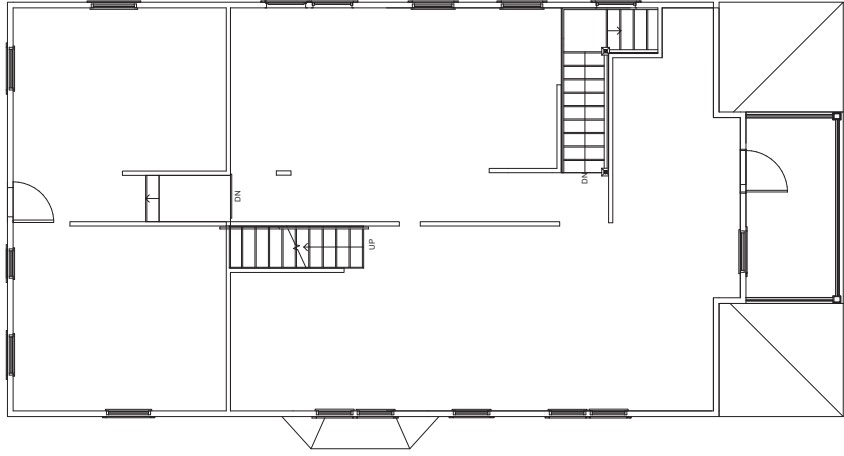
NO	REV	DATE

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THIS DOCUMENT IS PREPARED FOR THE ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

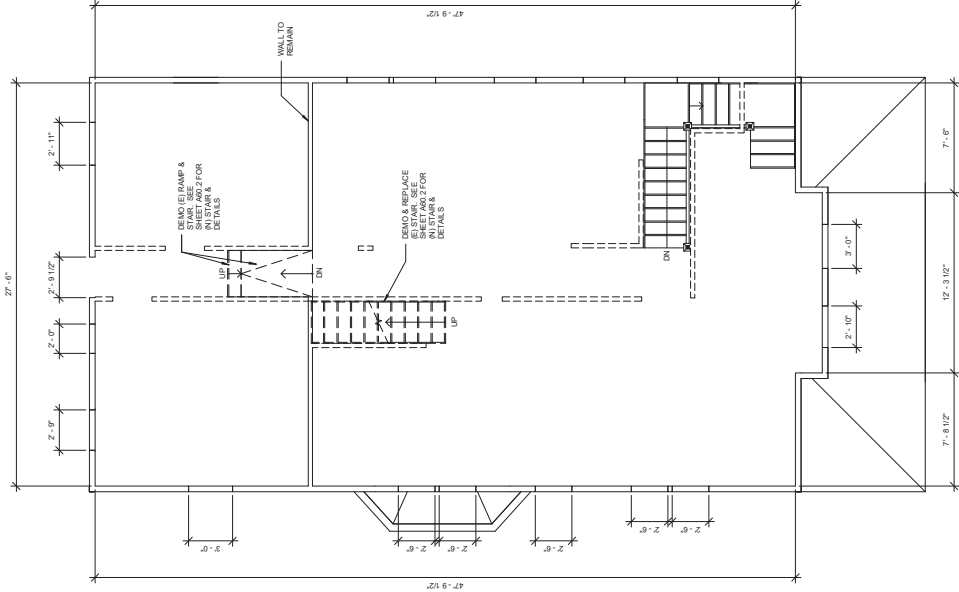
DRAWN BY: 02/02/20
SCHEMATIC
LANDMARKS RESB 4/2020

SCALE: 1/4" = 1'-0"
PLOT DATE: 04/28/20
PRINCIPAL: PD
DRAWN BY: JAM
SHEET NO:

A20.2



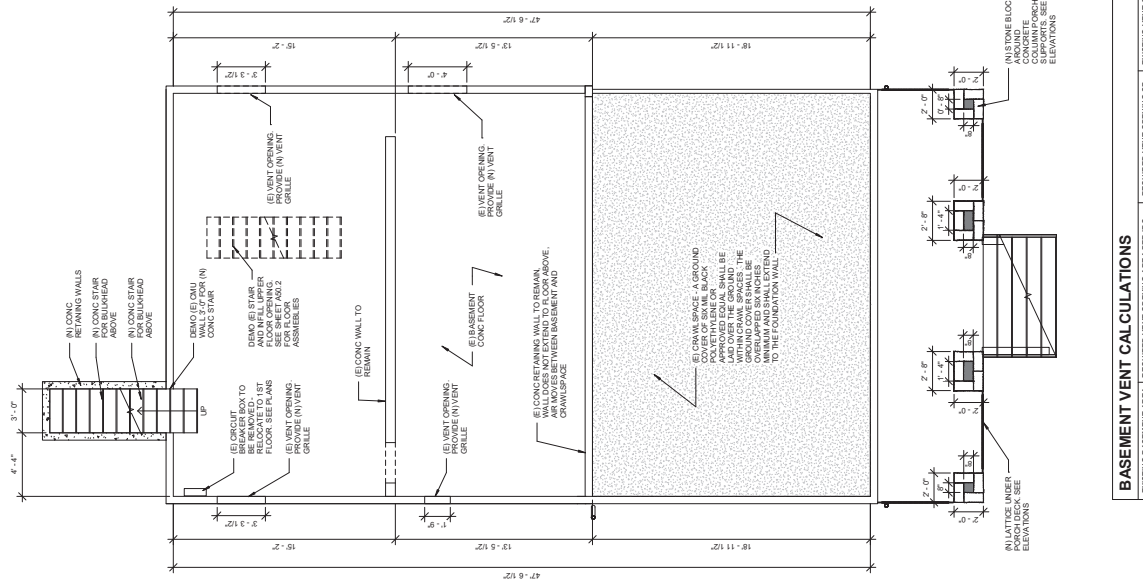
1 SECOND FLOOR PLAN-HISTORIC.
SCALE: 1/4" = 1'-0"
0' 2' 4' 8' 12'



2 SECOND FLOOR PLAN- EXISTING & DEMO.
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

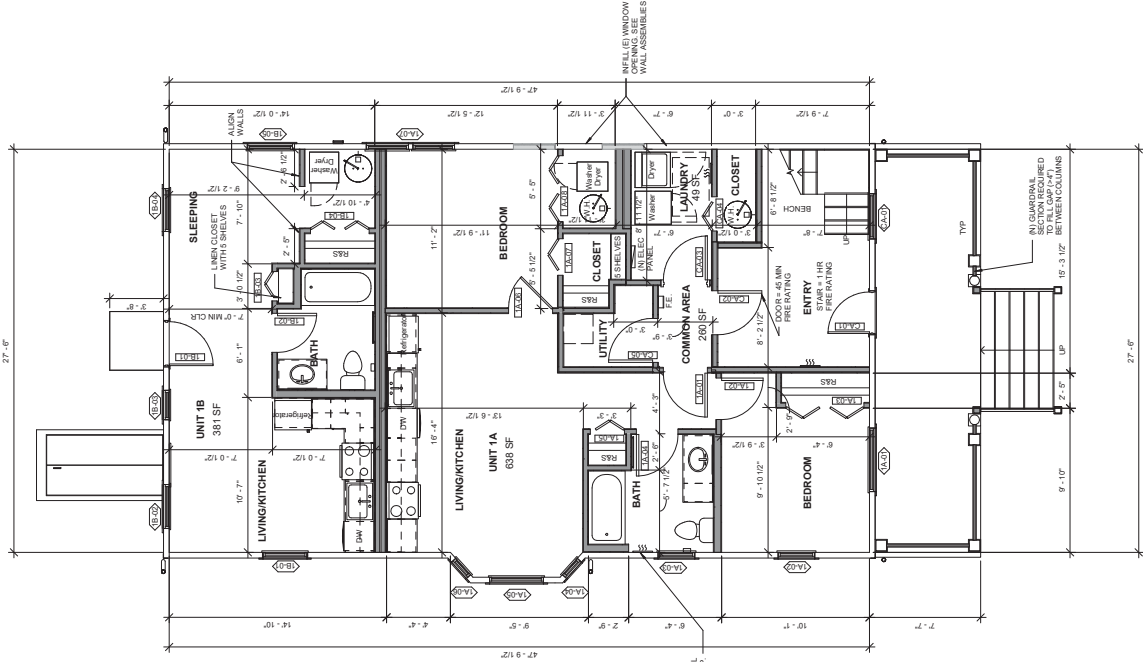
1. ALL EXTERIOR WALLS SHALL BE W2/A50.1 U.N.O.
2. ALL PARTY WALLS SHALL BE W4/A50.1 U.N.O.
3. ALL UNIT INTERIOR WALLS SHALL BE W6/A50.1 U.N.O.
4. FRAMED DIMENSIONS ARE TO F.O.S. OR CENTER OF DOUBLE STUD PARTY WALL AIR GAP U.N.O.
5. WINDOWS ARE DIMENSIONED TO CENTERLINE U.N.O.
6. DOOR JAMBS ARE 4" FROM CORNER U.N.O.
7. SEE SHEET A7.1 FOR DOOR INFORMATION AND SCHEDULE
8. SEE SHEET A7.1 FOR WINDOW INFORMATION AND SCHEDULE
9. TOILETS ARE TO BE LOCATED MIN 18" TO 18" CLEAR FROM THE CENTERLINE TO ANY OBSTRUCTION.
10. CLOSETS SHALL HAVE THE SAME FINISHES AS THE CONNECTING ROOM U.N.O.
11. ALL LINEN CLOSETS SHALL HAVE 5 SHELVES U.N.O. ALL OTHER CLOSETS SHALL HAVE A SHELF AND ROD U.N.O.
12. SOFFIT ALL UPPER KITCHEN CABINETS U.N.O.
13. UNIT CLOSET DOORS TO BE CENTERED BETWEEN FINISHED FACES.
14. PROVIDE FIRE EXTINGUISHERS UNDER ALL UNIT KITCHEN SINKS U.N.O.



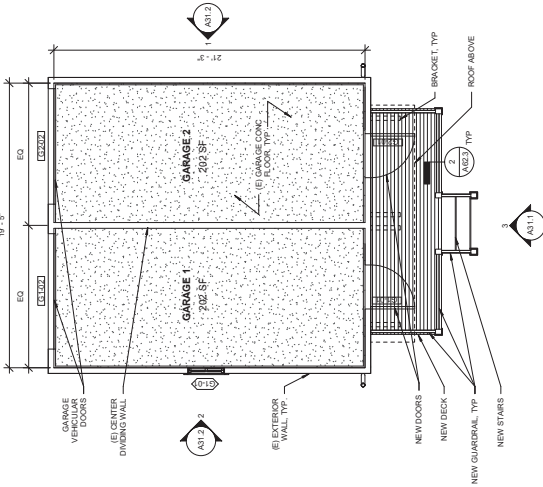
BASEMENT VENT CALCULATIONS

EXISTING BASEMENT AREA	REQUIRED VENT OPENING AREA PER IRC	REQUIRED VENT OPENING SF	EXISTING VENT OPENING SF
1597 SF	1 SF PER 100 SF OF FLOOR AREA	60.8 SF	21 SF

2 BASEMENT FLOOR - PROPOSED
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



3 GARAGE PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

NO	REV	DATE

FOR PERMIT
REVISIONS
REVISIONS TO BE MADE TO THIS SET OF DRAWINGS
MUST BE MADE ON THIS SET OF DRAWINGS

FIRST FLOOR PLAN - PROPOSED

SCALE	AS PER	DATE

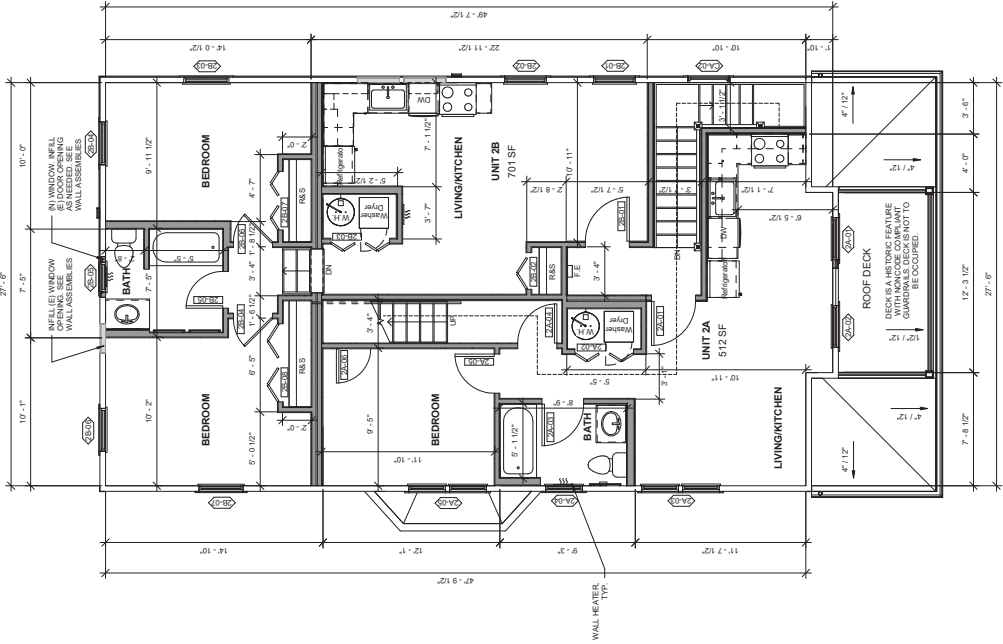
NO	REV	DATE

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 SPECIFIED TO BE THE PROPERTY
 OF TONKIN ARCHITECTURE

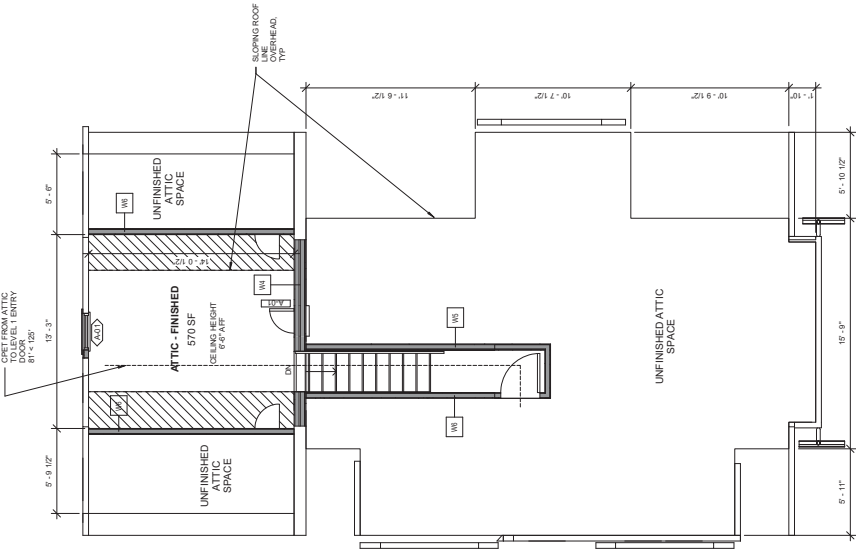
SECOND FLOOR PLAN - PROPOSED

SCALE: AS SHOWN
 DATE: 04/20/20
 PROJECT: PD
 PROPOSAL: PD
 DRAWING: JAM
 SHEET NO:

A21.2
 NOT FOR CONSTRUCTION



1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



3 ATTIC PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR WALLS SHALL BE W2/A50.1 U.N.O.
2. ALL PARTY WALLS SHALL BE W4/A50.1 U.N.O.
3. ALL INTERIOR WALLS SHALL BE W6/A50.1 U.N.O.
4. FRAMED DIMENSIONS ARE TO F.O.S. OR CENTER OF DOUBLE STUD PARTY WALL AIR GAP U.N.O.
5. WINDOWS ARE DIMENSIONED TO CENTERLINE U.N.O.
6. DOOR JAMBS ARE 4" FROM CORNER U.N.O.
7. SEE SHEET 1/14 FOR DOOR INFORMATION AND SCHEDULE
8. SEE SHEET 1/11 FOR WINDOW INFORMATION AND SCHEDULE
9. TOILETS ARE TO BE LOCATED MIN 16" TO 18" FROM CENTERLINE TO ANY OBSTRUCTION
10. CLOSETS SHALL HAVE THE SAME FINISHES AS THE CONNECTING ROOM, U.N.O.
11. ALL LINEN CLOSETS SHALL HAVE 5 SHELVES AND ALL OTHER CLOSETS SHALL HAVE A SHELF AND ROD U.N.O.
12. SOFFIT ALL UPPER KITCHEN CABINETS U.N.O.
13. UNIT CLOSET DOORS TO BE CENTERED BETWEEN FINISHED FACES
14. PROVIDE FIRE EXTINGUISHERS UNDER ALL UNIT KITCHEN SINKS U.N.O.

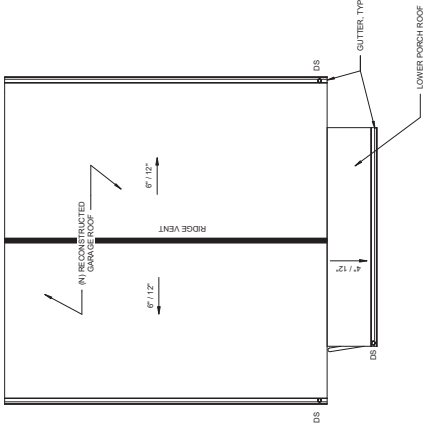
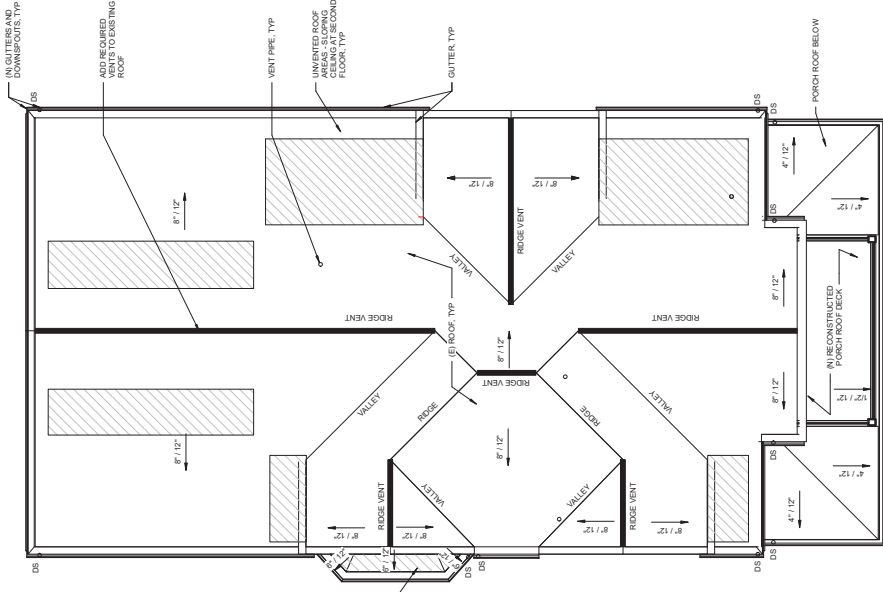
NO.	REV.	DATE

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DRAWN BY: (02/02/20)
 SCHEMATIC (02/02/20)
 LANDMARKS RESB 4/2020

PROJECT NO: A21.3
 SHEET NO: A21.3

ROOF PLAN



ROOF NOTES:

1. DS = DOWNSPOUT
2. PROVIDE VENT HOLES IN WOOD SHEATHING BENEATH OVERHUNG VENTED ROOFS
3. PROVIDE WADGE BARRIERS ON WADGE SIDE OF ALL VENTED INTAKES
4. SEE DETAIL #12 FOR VENT PIPE PENETRATIONS
5. FOR ROOF ASSEMBLIES SEE SHEET A02
6. REQUIRED MIN. VENTILATION AREA = 1/30TH OF UNVENTED FLOOR AREA
7. FOR ROOF PENETRATIONS THROUGH ROOF, SEE IN AREA FOR NEW GUTTERS, DOWNPOUTS, RIDGE VENTS AND VENT ASSEMBLIES. ALSO SEE ROOF ASSEMBLIES SHEET A02

ROOF VENT NOTES:

ROOF VENT TYPES:
 RIDGE VENT = 12.5 SQUARE INCHES PER LINEAL FOOT
 EAVE VENT = (9) 1/2 DIAMETER HOLES PER FRAMING BAY (3.5 LINEAR HOLES (3.5) PER BAY)

MAIN ROOF:
 ROOF AREA = 1488.5 SF (34.0032 SQUARE INCHES)
 CALC 139.02' x 10.6392' = 1478.91 (REQUIRED VENT AREA PER 2015 IRC)
 MAIN ROOF - FRONT = 800.75' (15.0044 S)
 MAIN ROOF - REAR = 687.75' (15.0044 S)
 ROOF AREA = 1488.5 SF
 ROOF JACK (1) = 148.8 S
 TOTAL PROPOSED VENT AREA = 1338.6 S

MAIN ROOF - REAR AT OCCUPIED ATTIC: (10.6392' x 178.48 S)
 1874.83 SF (15.0044 S) VENTING AREA REQUIRED
 RIDGE VENT AREA = 93.02 S

MAIN ROOF - REAR BED ROOMS AT 2ND FLOOR: (238.12 SF)
 238.12 SF (15.0044 S) VENTING AREA REQUIRED
 34.9328 (23.8125) (23.8125) TOTAL VENTING AREA
 EAVE VENT (11.38) (15.0044 S) PER BAY
 ROOF JACK (2) (EACH) (18.75) (23.8125) TOTAL
 TOTAL PROPOSED VENT AREA = 418.5 S

LOWER PORCH:
 ROOF AREA = 272.24 SF (1.2038 SQUARE INCHES)
 CALC 139.02' x 1.9525' = 271.58 (REQUIRED VENT AREA PER 2015 IRC)
 EAVE VENT AREA = 208.8 S
 SUPPLY VENT (0) (1) (1) (4.8 S)
 TOTAL PROPOSED VENT AREA = 208.8 S

2 GARAGE ROOF PLAN - PROPOSED
 SCALE: 1/4" = 1'-0"

1 ROOF PLAN - PROPOSED
 SCALE: 1/4" = 1'-0"



NO.	REV.	DATE

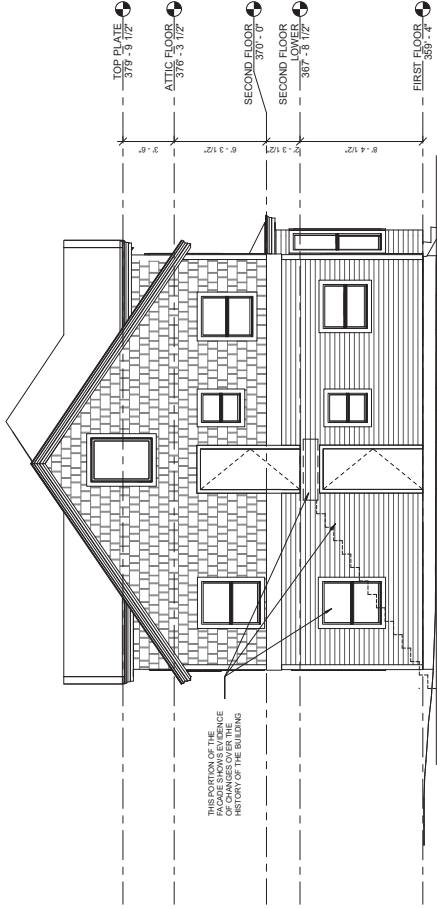
FOR PERMIT
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ARCHITECTURAL RECORDS OF THE CITY OF TACOMA

BUILDING ELEVATIONS - HISTORIC

SCALE: As indicated
PROJECT: 042820
PROJ. NO.: PD
DRAWN BY: AM
SHEET NO.

A30.1

KEYPLAN



2 REAR (SOUTH) ELEVATION-HISTORIC
SCALE: 1/8" = 1'-0"



1 STREET (NORTH) ELEVATION-HISTORIC
SCALE: 1/8" = 1'-0"



TONKIN
 architecture
 2701 First Avenue, Suite 520
 Seattle, WA 98121
 P 206-424-7882
 www.tonkinarchitecture.com



506 NORTH L, TACOMA
 506 NORTH L STREET, TACOMA WA 98403
 KAYELI VENTURES LLC
 720 N 10TH STREET, SUITE A240, RENTON, WA 98057

DRAWN BY: 02/09/20
 SCHEMATIC 04/28/20
 LANDMARKS/RSB 4/20/20

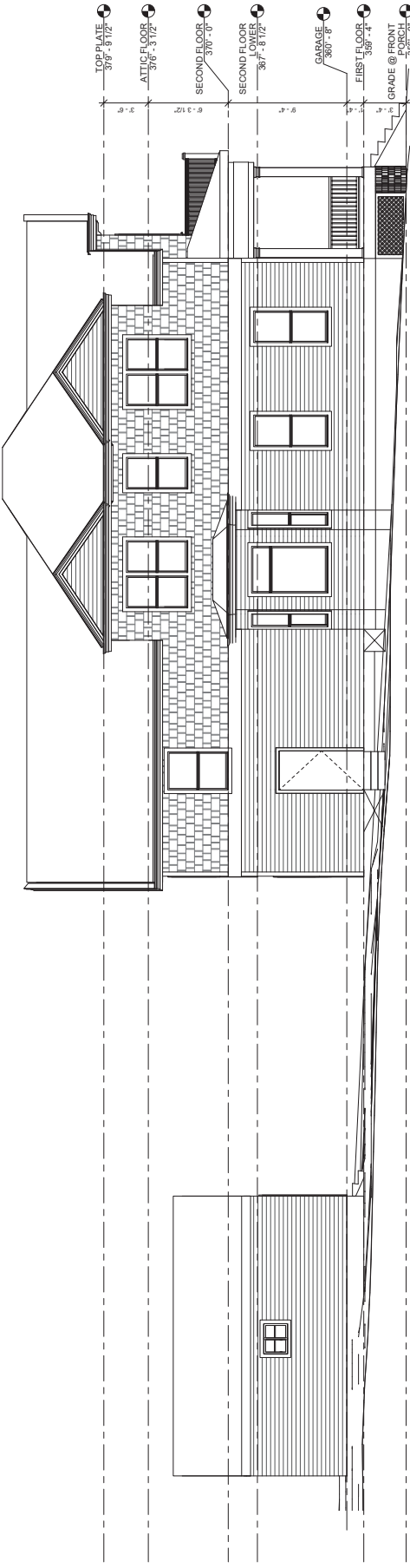
NO.	REV.	DATE

FOR PERMIT
 HISTORIC PRESERVATION
 ARCHITECTURAL FOOTING ELEVATION

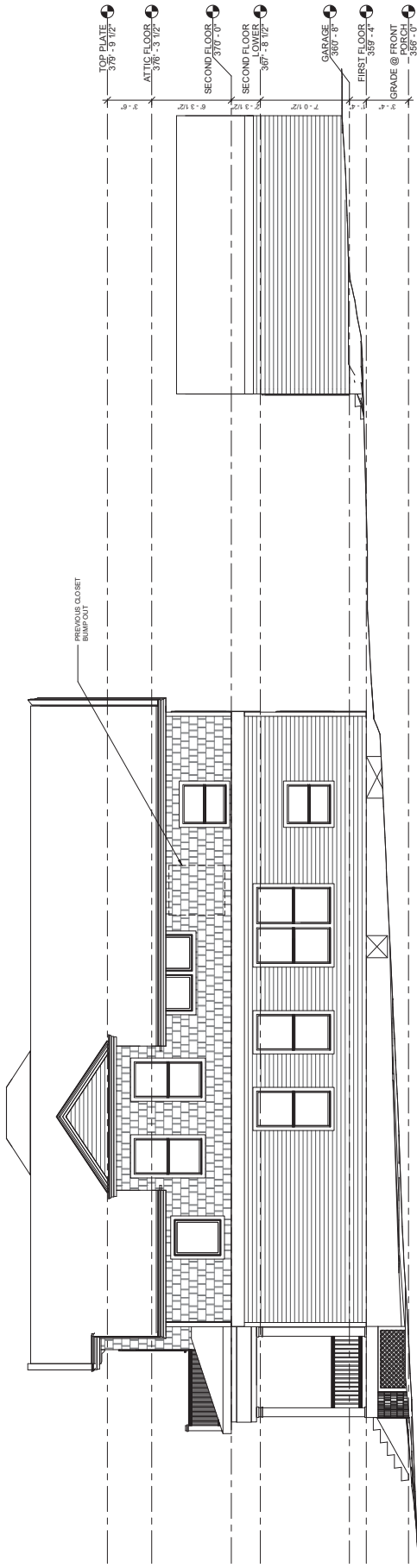
BUILDING ELEVATIONS - HISTORIC

SCALE: AS INDICATED
 PLOT DATE: 04/28/20
 PRINCIPAL: PD
 PRODUCED: PD
 DRAWN BY: JAM
 SHEET NO.

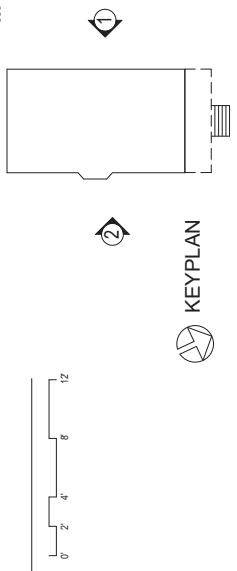
A30.2



2 EAST ELEVATION-HISTORIC
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION-HISTORIC
 SCALE: 1/8" = 1'-0"



NO	REV	DATE

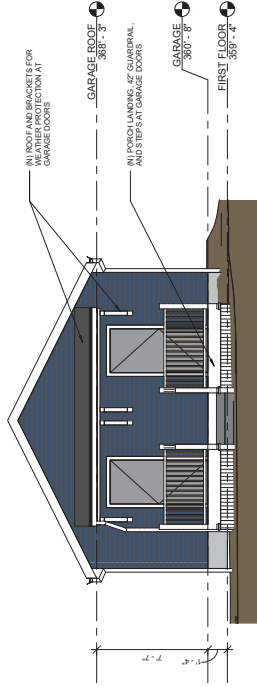
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CONSTRUCTION.

BUILDING ELEVATIONS - PROPOSED

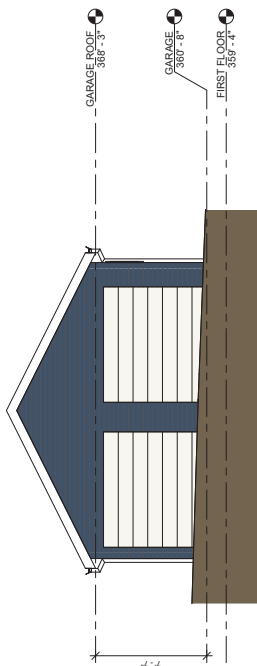
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PLOT DATE: 04/20/20
PROJ. NO.: PD
DWTOR: PD
SHEET NO.: AM

A31.1

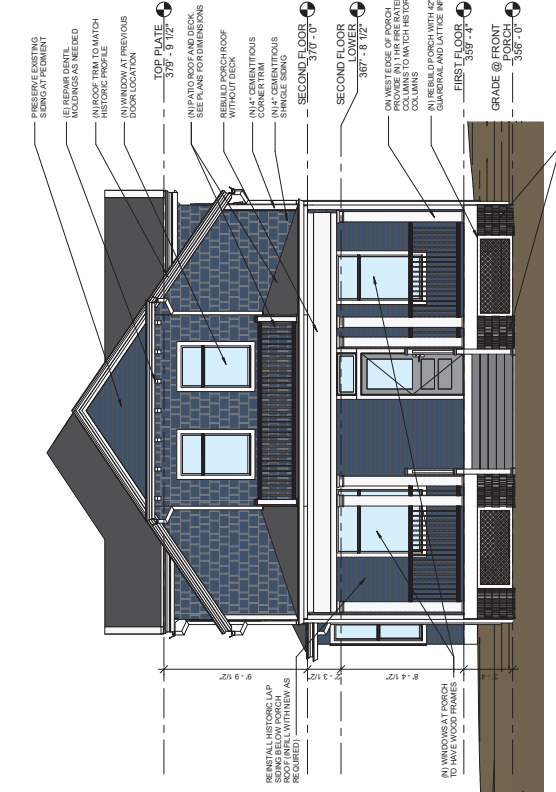
KEYPLAN



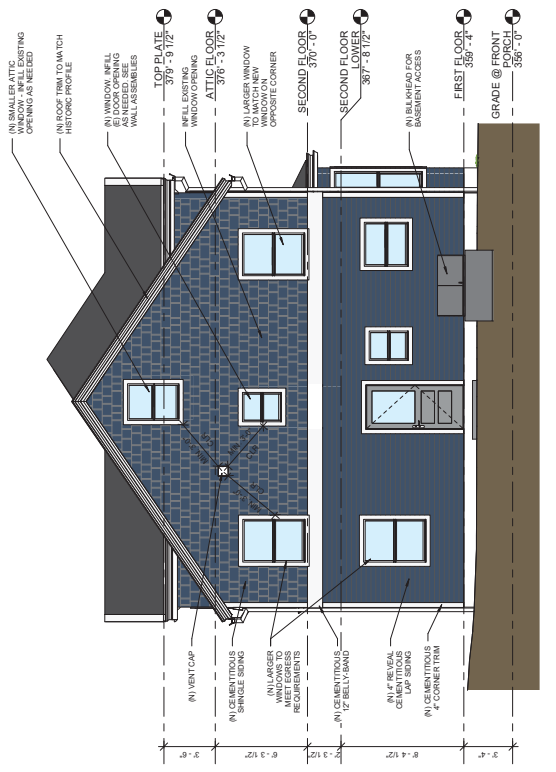
3 GARAGE NORTH ELEVATION-PROPOSED
SCALE: 1/8" = 1'-0"



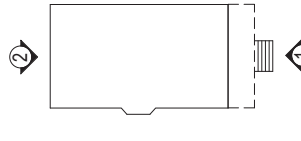
4 GARAGE ALLEY (SOUTH) ELEVATION-PROPOSED
SCALE: 1/8" = 1'-0"

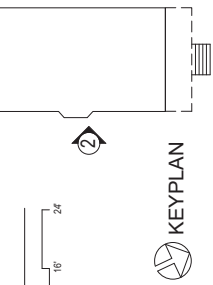
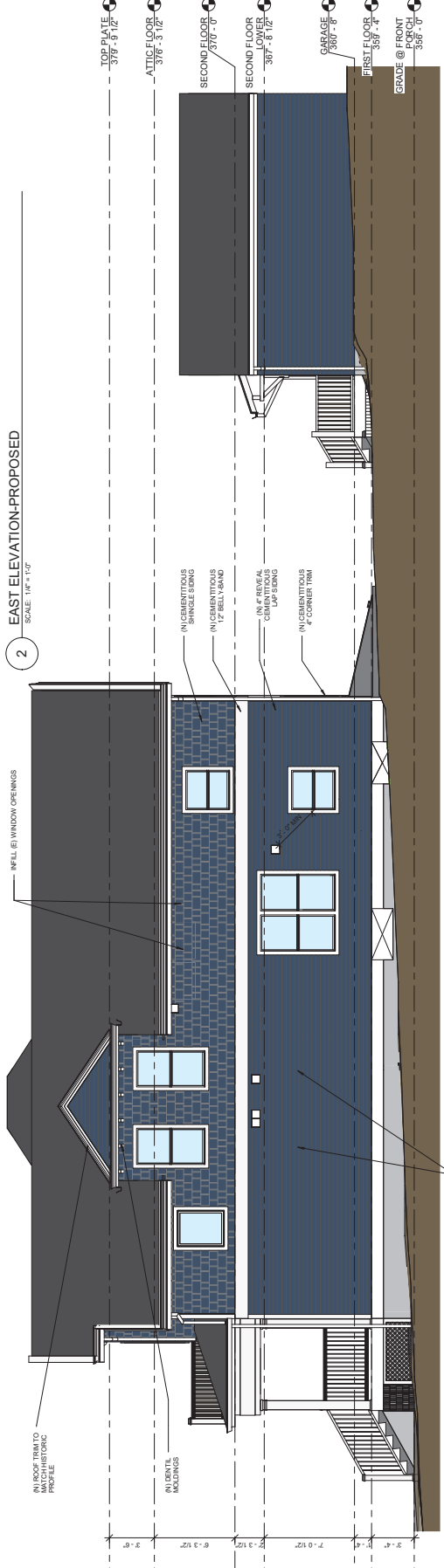


1 STREET (NORTH) ELEVATION-PROPOSED
SCALE: 1/8" = 1'-0"



2 REAR (SOUTH) ELEVATION-PROPOSED
SCALE: 1/8" = 1'-0"





1 WEST ELEVATION-PROPOSED
 SCALE: 1/4" = 1'-0"

2 EAST ELEVATION-PROPOSED
 SCALE: 1/4" = 1'-0"

WEST EXTERIOR WALL - FIRE SEPARATION DISTANCE

FLOOR	TOTAL WALL AREA @ 2'-0" x 8'-0"	TOTAL EXISTING OPENING AREA @ 3'-0" x 8'-0"	TOTAL PROPOSED OPENING AREA @ 3'-0" x 8'-0"	EXISTING UNPROTECTED OPENING PERCENTAGE (10% ALLOWED @ 3'-0" x 8'-0")	PROPOSED UNPROTECTED OPENING PERCENTAGE (10% ALLOWED @ 3'-0" x 8'-0")
FIRST	400 SF	79 SF	41 SF	19%	9%
SECOND	500 SF	65 SF	51 SF	13%	10%

EAST EXTERIOR WALL - FIRE SEPARATION DISTANCE

FLOOR	TOTAL WALL AREA @ 16'-0" x 20'-0"	TOTAL EXISTING OPENING AREA @ 15'-0" x 20'-0"	TOTAL PROPOSED OPENING AREA @ 15'-0" x 20'-0"	EXISTING UNPROTECTED OPENING PERCENTAGE (15% ALLOWED @ 15'-0" x 20'-0")	PROPOSED UNPROTECTED OPENING PERCENTAGE (15% ALLOWED @ 15'-0" x 20'-0")
FIRST	400 SF	90 SF	83 SF	22%	20%
SECOND	400 SF	78 SF	78 SF	19%	19%



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

APPLICATION FOR DESIGN REVIEW

Permit Number: HDR20-0007

PROPERTY INFORMATION

Building/Property Name:	1007 N Sheridan Ave, Tacoma, WA
Building/Property Address:	1007 N SHERIDAN AVE
Historic/Conservation District:	North Slope
Applicant's Name:	Ferguson Architecture
Applicant's Address:	1916 Jefferson Avenue Tacoma, WA 98402
Applicant's Phone:	2532486060
Applicant's Email:	hladenburg@fergusonarch.com
Property Owner's Name:	KNUDSON JOSHUA S & BRIANNE NEVILLE-
Property Owner's Address:	

PROJECT SCOPE AND DESCRIPTION

Project Details

Application Type:	Residential
Type of Work:	Window or Door Openings
Estimated Valuation:	42000

Application Checklist

Features to be Modified:

- Existing garage door to be infilled with code compliant wall and window assemblies.
- Replace existing windows with energy compliant units.

Program of Work:

N/A

Specifications of Materials and Finishes:

All exterior materials to match existing.

Roof Height:	15
Roof Pitch:	
Roof Material:	Existing to remain - gray asphalt shingles
Size of Construction:	13'-10" x 18'-9"
Proposed Material:	Existing to remain.
Exterior Material:	Existing to remain.

Window Information

Window Types:	At new window locations: Milgard double-hung fiberglass windows, 4'-4" square rough openings. At existing window locations: Replace with Milgard fixed fiberglass windows
Window Trim:	Existing trim to remain at replaced window locations. New trim to match existing at new window locations.
Window Material:	Fiberglass.
Window Locations:	Existing - Southwest and Southeast facades. New - Northwest facade.

Door Information

Door Types:	Existing to remain.
Door Materials:	Existing to remain.
Door Locations:	Existing to remain.

Existing Signage:	No
Sign Dimensions:	
Sign Material:	
Logo and Letter Size:	
Lighting Specifications:	
Removing or Relocating Signage:	
Method of Attachment:	



KNUDSON DADU

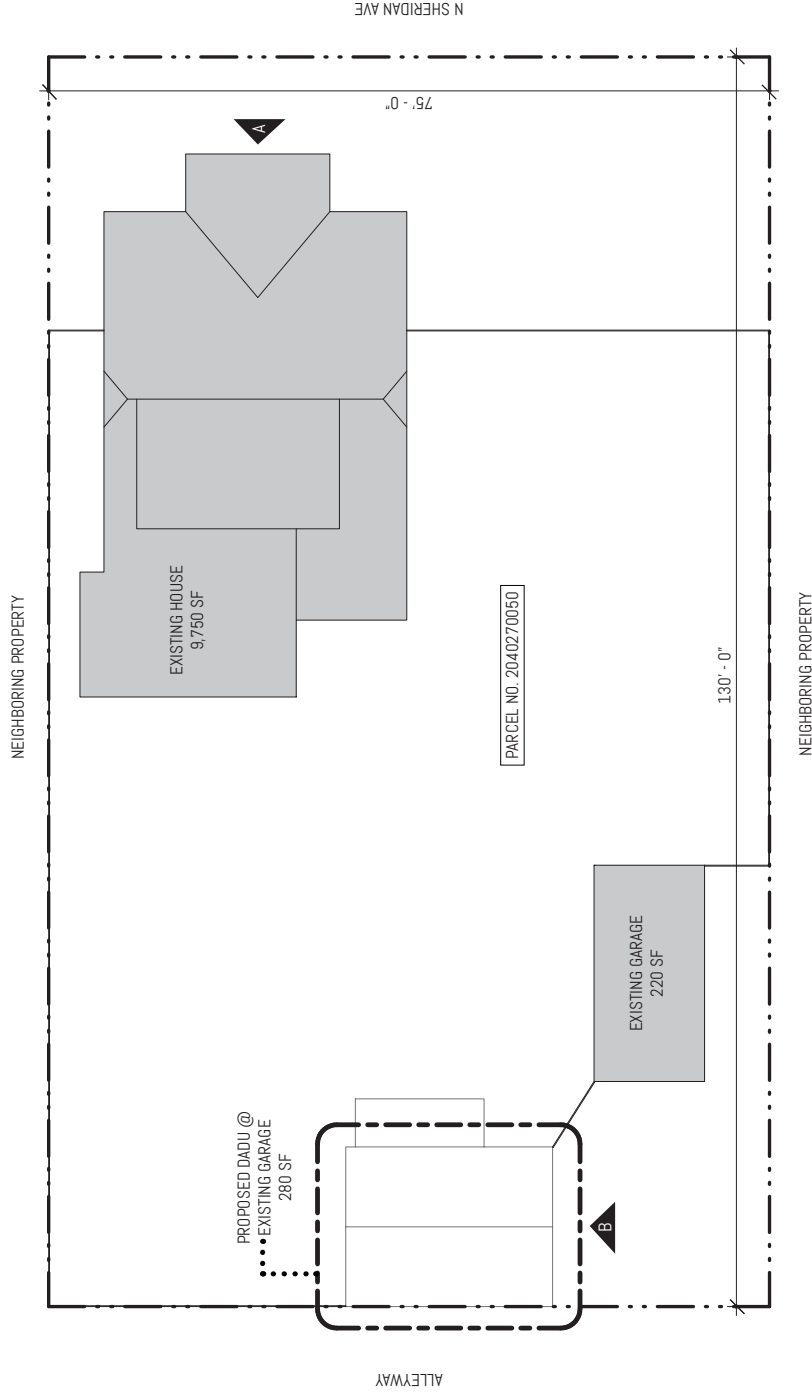
LANDMARKS COMMISSION PRESENTATION

SITE PLAN



- PROPERTY LINE
- - - PROJECT SCOPE
- EXISTING FENCE
- NOT IN SCOPE

1007 N SHERIDAN, TACOMA, WA 98403



LANDMARKS PACKAGE

A P P L I C A B L E C O D E

ZONE HMR-SRD-HIST (HISTORIC MIXED RESIDENTIAL SPECIAL REVIEW DISTRICT & HISTORIC DISTRICT)

APPLICABLE CODE TITLE 13 - LAND USE REGULATORY CODE

13.07.095 CERTIFICATES OF APPROVAL - STANDARDS FOR REVIEW

- .A.1.B Historic character of a property shall be retained and preserved.
- .A.1.E Distinctive features, finishes, and construction techniques shall be preserved.
- .A.1.F Deteriorated historic features shall be repaired, rather than replaced.
- .A.1.I Work shall be compatible with massing, size, scale, and architectural features.

13.07.220 DESIGNATION OF THE NORTH SLOPE HISTORIC SPECIAL REVIEW DISTRICT - PURPOSE

- .B Architectural cohesiveness of the neighborhood should be maintained and preserved.

13.07.250 NORTH SLOPE HISTORIC SPECIAL REVIEW DISTRICT - SPECIFIC EXEMPTIONS

- .B Interior modifications to existing structures.
- .F Landscaping of private residences.

EXISTING GARAGE



NORTHWEST FACADE



SOUTHWEST FACADE



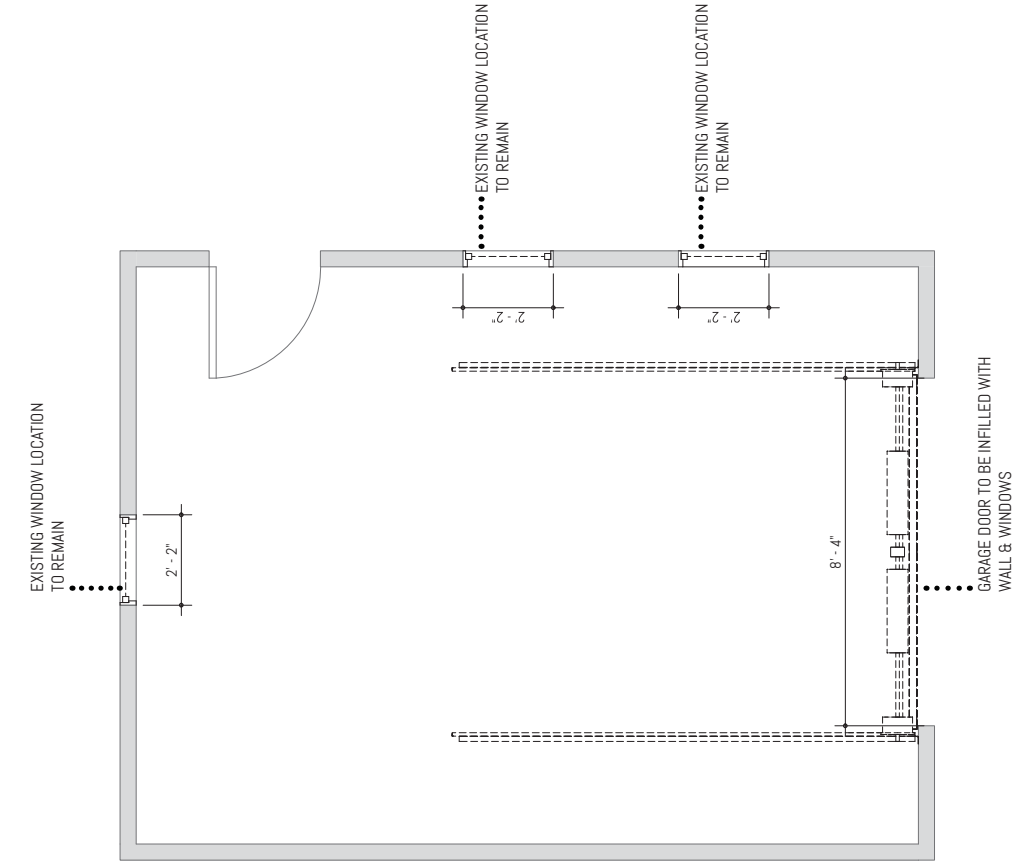
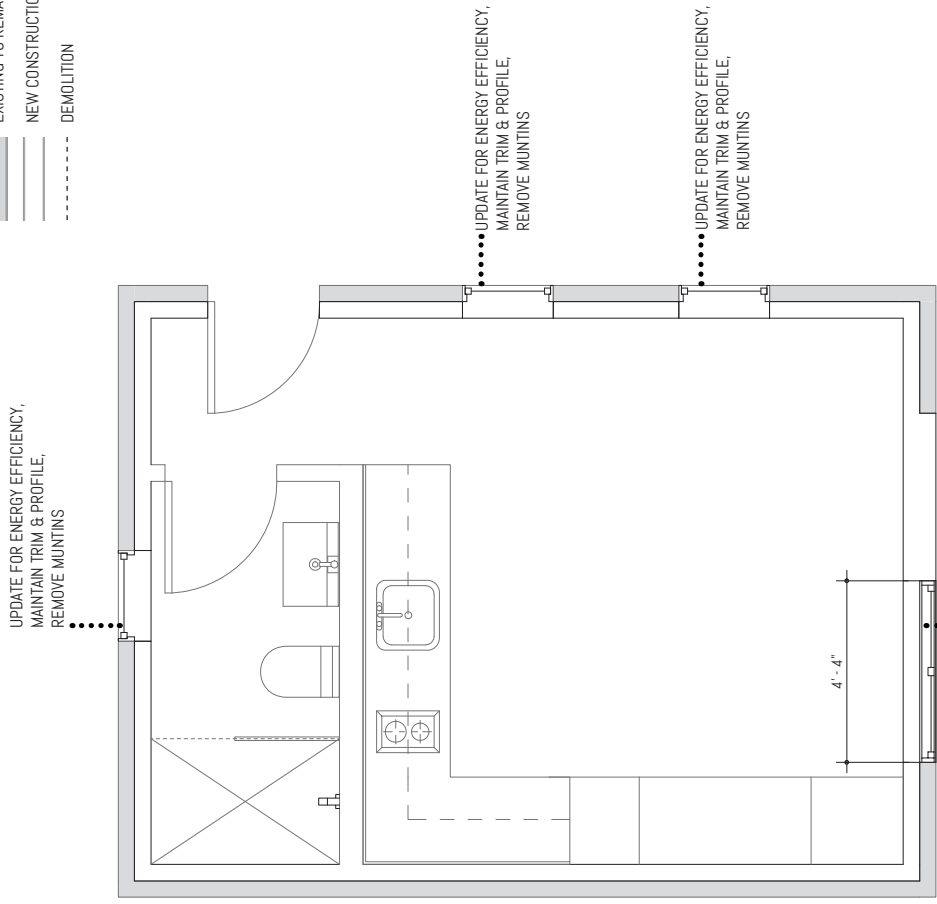
SOUTHEAST FACADE

EXTERIOR CONCEPT



DEMOLITION + NEW FLOOR PLAN

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- DEMOLITION

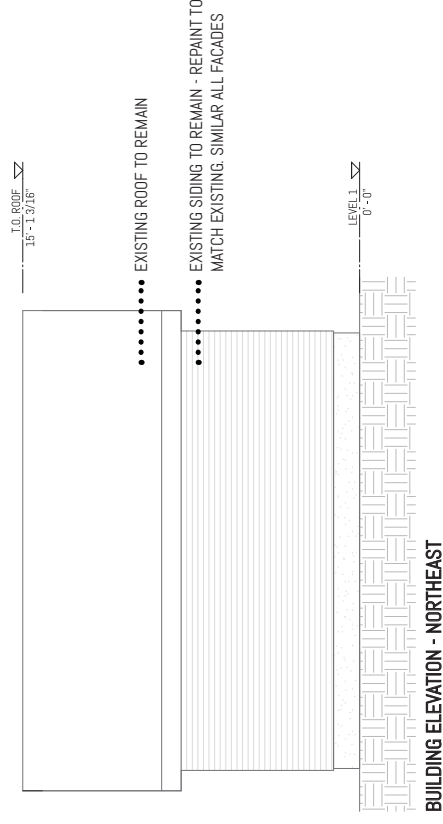
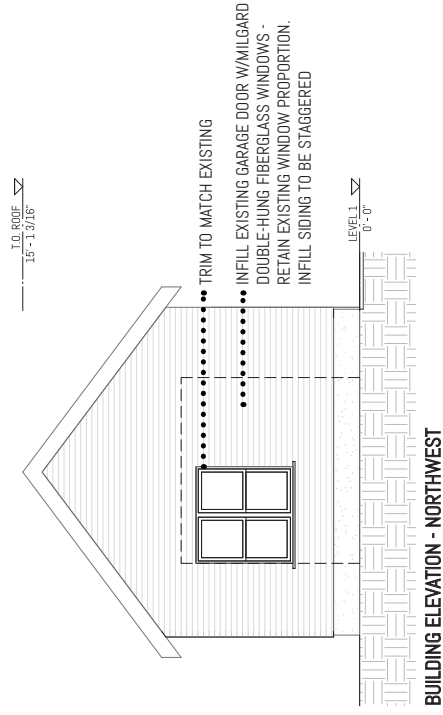
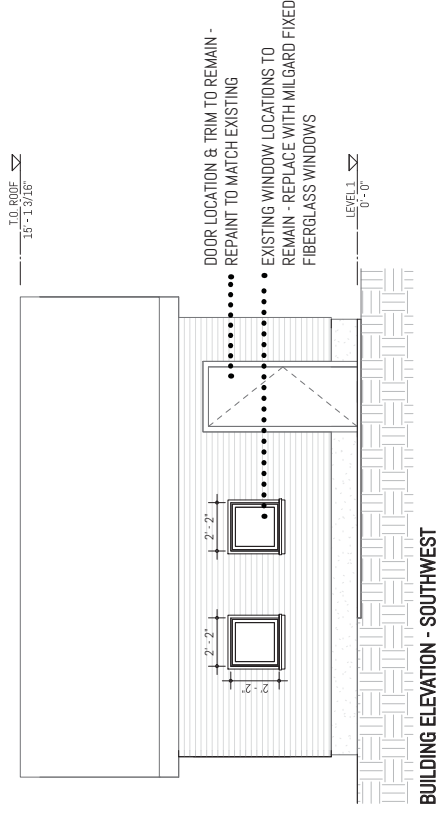
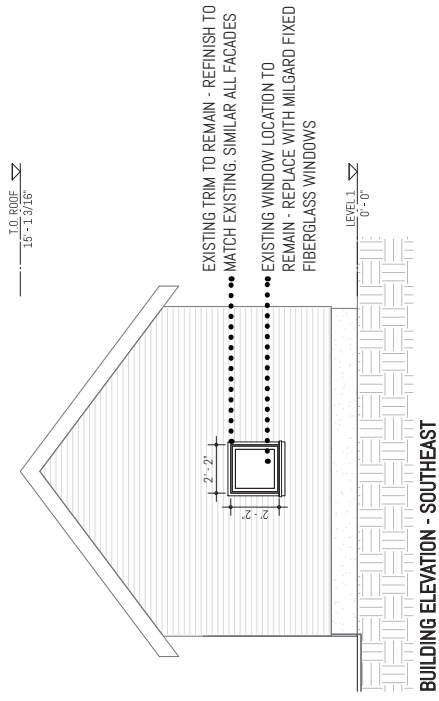


LANDMARKS PACKAGE

KNUDSON DADU



DADU ELEVATIONS



NEIGHBORHOOD PRECEDENTS



1212 N 11TH ST



1407 N 11TH ST



1416 N 11TH ST



1208 N 10TH ST



1006 N SHERIDAN



920 N SHERIDAN

HISTORIC PRESERVATION MONTH

2020

CULTURAL LANDSCAPES



Wright Park



Pt. Deliance



Swan Creek



Wapato Park

EVENT PROGRAM

THE CITY OF TACOMA PRESENTS

HISTORIC PRESERVATION MONTH

National Historic Preservation Month was established in 1973 by the National Trust for Historic Preservation in order to promote historic preservation and community pride in local heritage sites. This May, the theme for Tacoma's Historic Preservation Month is Cultural Landscapes. The City of Tacoma's Historic Preservation Office and many local partners have worked together to create a month-long calendar of events that highlight the different aspects of Tacoma's historic resources and heritage community. Please visit the Historic Preservation Month website for up to date information on all the Historic Preservation Month events.

www.hpmonthtacoma.com
facebook.com/TacomaHistoricPreservation



Tacoma's past is deeply rooted. Carrying that history forward through restoration and adaptive reuse allows the old and supports vibrant, engaging neighborhoods.

2020 HP MONTH EVENTS



Sacred Spaces: Virtual Tour
May 2 @ 8PM • Online
This FREE virtual tour will take us through some of Tacoma's most beautiful and iconic sacred spaces.
More info at: www.hpmonthtacoma.com

Bank on Tacoma, 1873-1993 @ Tacoma Historical Society
Exhibition on the unexpectedly eventful history of banking in Tacoma.
More info at: www.tacomahistory.com

Virtual Wright Park Walking Tour
May 5 @ 3:30PM • Online
Learn about the history of Tacoma's iconic Wright Park while walking with a virtual tour guide.
More info at: www.hpmonthtacoma.com

Trapped: Escape Fort Nisqually (Virtual)
May 7-9 from 5:30PM-9PM • Online
Escape Fort Nisqually games use archival history and objects to create a puzzle that teams must solve to escape.
Updates at: www.hpmonthtacoma.com

Tacoma's Agricultural Heritage Virtual Zoom Panel • May 9 (visit site)
Harvest Pierce County Cultural Ambassadors will discuss the importance of community gardens to the heritage of Tacoma's immigrant communities.
Updates at: www.hpmonthtacoma.com



Tacoma Historical Society: History of Old City Hall
May 11 @ 7PM • Visit Site for More info
Learn more about the history of Tacoma's iconic City Hall building. **Info at: www.hpmonthtacoma.com**

Queen Victoria's Birthday (Virtual)
May 16 from 11AM-5PM • Online
A Hudson's Bay Company Celebration of the Queen's Birthday! Celebrate with cannon fire and Victorian livery.
More info at: www.hpmonthtacoma.com

Sherman Elementary Salmon Release
May 16 from 9AM-11AM • Online
Watch online as the salmon raised by Sherman Elementary students are released into Swan Creek.
More info at: www.hpmonthtacoma.com

Old Town Scavenger Hunt
IPM-4PM @ Job Carr Cabin Museum
Explore Old Town Tacoma with a scavenger hunt. Museum admission and events are pay-as-you-can.
More info at: www.jobcarrmuseum.org

Virtual Walking Tour of Proctor District
May 17 from 1PM-4PM • Online
Discover the history of the Proctor District in this engaging, virtual tour.
Register at: www.proctortour.eventbrite.com



The Salish Sea, Then, Now and in the Future **Page 46 of 47**
@ Foss Waterway Seaport Museum
Visit the Foss Waterway Seaport for a Salmon Science Fair with 5th grade classes of Sherman Elementary.

Historic Preservation Awards Event Postponed
We are currently accepting nominations.
More Info at: www.hpmonthtacoma.com

Wapato Park Virtual Bike Tour
May 30 from 11AM-1PM • Online
Virtual bike tour of Wapato Park will focus on the history of the area and delve into how the park itself came to be.
More Info at: www.hpmonthtacoma.com

Due to evolving public health social distancing recommendations, event changes are anticipated. Please visit the Historic Preservation Month website for up to date information on all the Historic Preservation Month events.
www.hpmonthtacoma.com

HISTORIC PRESERVATION MONTH

2020

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More Info at: www.hpmonthtacoma.com