

**Members**

Kevin Bartoy, Chair  
 Roger Johnson, Vice Chair  
 Jonathan Hart  
 Sarah Hilsendeger  
 Jennifer Mortensen  
 Alex Morganroth  
 Lysa Schloesser  
 Holly Stewart  
 Carol Sundstrom  
 Jeff Williams



# Agenda

## Landmarks Preservation Commission Planning and Development Services Department

Deborah Cade, North Slope Ex-Officio  
 Leah Jaggars, Wedge Ex-Officio

**Staff**

Reuben McKnight, Historic Preservation Officer  
 Lauren Hoogkamer, Assistant Historic Preservation Officer  
 BT Doan, Office Assistant

Date: February 26, 2020  
 Location: 747 Market, Tacoma Municipal Bldg, Conference Room 248  
 Time: 5:30 p.m.

**1. ACKNOWLEDGEMENT OF INDIGENOUS LANDS**

**2. ROLL CALL**

**3. CONSENT AGENDA**

- A. Excusal of Absences
- B. Approval of Minutes: 2/12/20
- C. Administrative Review:
  - 1721 Jefferson Ave.--Door

**4. AMENDMENTS TO THE BYLAWS AND INVENTORY—PUBLIC HEARING**      Staff      10 mins

**5. DESIGN REVIEW**

A. 5 South G Street, Merrill Gardens      Alex Dalzell, Urbal      10 mins  
*Preliminary Approval*      Architecture

**6. PRESERVATION PLANNING/BOARD BUSINESS**

A. Housing Types in Tacoma Letter to Planning Commission      Commission      5 mins  
 B. Events & Activities Update      Staff      3 mins

**7. CHAIR COMMENTS**

*Next Regular Meeting: March 11, 2020, 747 Market Street, Tacoma Municipal Bldg., Rm. 248 5:30 p.m.*

*This agenda is for public notice purposes only. Complete applications are included in the Landmarks Preservation Commission records available to the public BY APPOINTMENT at 747 Market Street, Floor 3, or online at [www.cityoftacoma.org/lpc-agenda](http://www.cityoftacoma.org/lpc-agenda). All meetings of the Landmarks Preservation Commission are open to the public. Oral and/or written comments are welcome.*



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BT Doan, Office Assistant



# MINUTES (Draft)

## Landmarks Preservation Commission Planning and Development Services Department

**Date:** February 12, 2020

**Location:** 747 Market Street, Tacoma Municipal Building, Room 248

### Commission Members in Attendance:

Kevin Bartoy, Chair  
Roger Johnson, Vice Chair  
Jonathan Hart  
Sarah Hilsendeger  
Jennifer Mortensen  
Lysa Schloesser  
Holly Stewart  
Carol Sundstrom  
Deborah Cade  
Leah Jaggars

### Staff Present:

Reuben McKnight  
Lauren Hoogkamer  
BT Doan

### Others Present:

Tim, *Real Property Associates*  
Guion Rosenzweig, *Surge Tacoma*  
Eli Moreno, *Surge Tacoma*  
Gary Buchanan  
Susan Johnson

### Commissioner Members Excused:

Alex Morganroth  
Jeff Williams

### Commission Members Absent:

N/A

Chair Kevin Bartoy called the meeting to order at 5:30 p.m.

1. **ACKNOWLEDGEMENT OF INDIGENOUS LANDS**
2. **ROLL CALL**
3. **CONSENT AGENDA**

The agenda was approved as submitted.

#### a. Excusal of Absences

- Alex Morganroth
- Jeff Williams

#### b. Approval of Minutes: January 22, 2020

The minutes of the meeting on 1/22/2020 was approved as amended. The amendments were as follows:

- Under **4.c. 100 S 9<sup>th</sup> Street, Bowes Building Wireless Installation**, on page 3: "Commissioner Sundstrom indicated that the Hearing Examiner's report largely discussed the south (**primary secondary**) elevation of the building,..."
- Under **5.a. Amendments to the Guidelines, Bylaws, and Inventory**, on page 4: "Commissioner Cade pointed out that, in the **session section** about garages and accessory structures,..."

#### 4. DESIGN REVIEW

##### a. 512 North L Street (North Slope Historic District) *Rehab/window replacement*

Ms. Hoogkamer read the staff report as provided in the packet.

Commissioner Hart asked for staff's reasoning for recommending deferment of the historic windows replacement. Ms. Hoogkamer responded that from the materials submitted to staff, it was not clear that all of the windows were in such poor condition that would necessitate replacement.

The applicant added that six of the windows covered by the roof were in better condition and could be kept, the rest were more severely rotted. In reference to the drawings in the packet, the windows with blue arrows would be retained and those with red arrows would be replaced. The Commission reviewed the windows one-by-one and provided comments on each of them.

Further discussion continued with questions and comments from the Commission about the siding, the "door to nowhere," the steps and handrails. Consequently, the Commission requested a complete window survey by a restoration professional and drawings of the proposed design for the front stairs and handrail.

Commissioner Sundstrom made a motion: *"I move that we approve the siding and the removal of the "door to nowhere," and defer the rest of the items."*

Commissioner Mortensen seconded the motion. It passed unanimously.

#### 5. BOARD BRIEFINGS

##### a. Old City Hall Rehabilitation (Individual Landmark)

Ms. Hoogkamer read the staff report as provided in the packet.

Guion Rosenzweig, Surge Tacoma, provided an overview of the project, starting with the history of the Old City Hall. The plan was to renovate the building and turn it into a dynamic mixed-use facility. Ms. Rosenzweig noted that each floor from the 1<sup>st</sup> to 5<sup>th</sup> floor had a mezzanine, and proceeded to describe the proposed uses for each floor. She also presented cross sections of the building to illustrate what she was describing.

Subsequently, Ms. Rosenzweig explained the unique features of the building such as terracotta embellishments, materials of the walls and roof, different window styles on each floor, safes, jail cells in the basement, etc. She additionally went over how they planned to carry out the renovation, which essentially featured two structural reinforcement systems – one for the main building and one for the tower. Ms. Rosenzweig concluded with the timeline of the project, adding that they would return to the Commission with more specifics for approval at a future meeting.

Commissioner Mortensen had a question about the placement of the steel framing, which would be set further back from the windows rather than against them. Vice-Chair Johnson commented that he would like to keep the wooden floor as it was a memorable attribute of the building. Ms. Rosenzweig and Eli Moreno, Surge Tacoma, clarified that the concrete floor would only be for the tower, not the main building.

In reference to the housing aspect of the project, Commissioner Hart asked whether it would be rental housing or for sale. Ms. Rosenzweig indicated that the housing space would be rental and managed by their own staff. Mr. Moreno added that half of the housing units would be affordable housing.

The Commission expressed their excitement to see the project move forward.



## 6. PRESERVATION PLANNING/BOARD BUSINESS

### a. Historic Preservation Month Awards

Ms. Hoogkamer indicated that the Historic Month Awards theme for this year would be Cultural Landscape, and named the staff's recommended categories for awards. A list of past awards were also provided to the Commission.

Commissioner Schloesser suggested publishing past awards to give people examples of what to recommend.

### b. Housing Types in Tacoma Discussion

Mr. McKnight provided background information on the Planning Commission's public hearing notice for the "@Home In Tacoma" project. This was part of the ongoing discussion on the City's Affordable Housing Action Strategy, specifically the Diverse Housing Types and Inclusionary Zoning options.

Commissioner Schloesser was concerned that the project would lead to excessive demolitions. Chair Bartoy would like to reach out to the Planning Commission and seek collaboration, especially on historic preservation issues. He would work with staff to draft a memo and bring it to the Commission at the next meeting.

### c. Events & Activities Update

Ms. Hoogkamer stated that the "History Happy Hour: Trivia Night" poster had been released. Staff was also working with a graphic designer on materials for Historic Preservation Month.

## 7. CHAIR COMMENTS

Chair Bartoy briefed the Commission that the Heritage League of Pierce County had a letter opposing the closure of the National Archives and Records Administration in Seattle, which they were looking for co-signers.

Commissioner Mortensen made a motion: *"I move that the Landmarks Preservation Commission sign on to the letter from the Heritage League of Pierce County."*

Commissioner Hart seconded the motion. It passed unanimously.

The meeting was adjourned at 7:00 p.m.

***\*These minutes are not a direct transcription of the meeting, but rather a brief capture. For full-length audio recording of the meeting, please visit: <http://www.cityoftacoma.org/cms/One.aspx?portalId=169&pageId=67980>***





STAFF REPORT

February 26, 2020

**AGENDA ITEM 4A: AMENDMENTS TO THE BYLAWS AND INVENTORY—PUBLIC HEARING**

**BACKGROUND**

Tacoma Municipal Code 13.07 requires the Landmarks Commission to adopt and maintain an inventory of historically “contributing” and “noncontributing” properties as well as district guidelines to guide the design review process. Exterior alterations to contributing properties require the approval of the Commission prior to the issuance of building permits. The Commission may review and amend these inventories and guidelines once on an annual basis.

Commission Bylaws

No proposed changes.

Building Inventories

No proposed changes.

Design Guidelines

The table below provides a summary of the proposed changes, which primarily concern:

- Guidance for installation of solar equipment on historic buildings
- Guidance for accessory structures, including garages and detached accessory dwelling units
- Additional clarification for window details for new construction

Section and page	Subject	Proposed language changes
Roofs and Roof Shapes (p. 17)	Solar panels	New language under Rooftop Additions: <u>Roof mounted solar equipment should be located in a manner that reduces its visual impact to the extent practicable. Solar installations should not obscure character-defining architectural features, and installations on the primary facade are discouraged. To be appropriate for the historic district, solar installations should balance performance with architectural compatibility.</u>
Garages and Parking (p. 20)	Accessory Structures and Detached Accessory Dwelling Units*	Change title of Section to read: <u>Accessory Structures, Garages</u> and Parking  Item 2, “Minimize Views” add the following: <u>New accessory structures should be clearly subservient to the primary structure on the lot.</u>  New Item 5, to read: 1. <u>New accessory structures such as garages and detached accessory dwelling units should utilize a similar material palette and configuration to historic primary structures on the lot. New accessory structures should meet the guidelines for new construction exterior materials, windows and roof form and shape. Garages and accessory structures should orient vehicle doors to the alley when possible and maintain a simple roof plan.</u>  New Item 6, to read: 2. <u>Conversion of accessory structures. Accessory structures that are converted to residential use should retain the exterior visual characteristics of the historic accessory structure, including door and window configuration, cladding materials, and form. Added features, such as porches, exterior staircases, and new window or door openings, should be</u>

		<u>located to be minimally visible from public rights of way.</u>
<p>Guidelines for New Construction (p. 25)</p>	<p>Windows</p>	<p>Item 3, to read:            3. Window <u>configuration and detail</u>. New structures should utilize existing historic window patterns in their design. Windows should be vertically oriented. Large horizontal expanses of glass may be created by ganging two or more windows into a series. Historically, the typical window in the district was a double hung sash window. Casement windows were commonly used for closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Muntins and grids should be true or simulated divided light. Grids sandwiched between thermal panes are not acceptable. Commonly, windows were also surrounded with substantial trim pieces or window head trim, <u>and new window trim should utilize historic detail patterns. These may include crown molding, except where headers are engaged with a belly band or cornice, substantial projecting sills with aprons, and windows that are recessed or "punched in" so that the window sash and frame does not project beyond the wall plane. Design submittals for new structures shall include window trim details.</u></p> <p>Item 4, to read:            4. <u>Window materials</u>. Historically, windows were generally wood. New construction should use windows that are wood, or that mimic the appearance of wood (including clad or composite materials). Vinyl windows are generally not acceptable for new primary <u>or detached accessory dwelling unit</u> structures in the historic district.</p>

**COMMENTS RECEIVED**

On February 18, 2020, the North Slope Historic District submitted a letter in support of the proposed changes.

**EFFECTS**

- For properties within the district, future design proposals will be evaluated using the amended design guidelines.
- Properties adjacent to but outside of the historic districts are not affected by this amendment.

**ACTION REQUESTED**

Following the close of the Public Hearing, the Commission shall review public testimony and take action to approve, amend, or deny the proposed changes no sooner than its next regularly scheduled meeting.

**DESIGN REVIEW**

**AGENDA ITEM 5A:5 South G Street, Merrill Gardens**

*Alex Dalzell, Urbal Architecture*

**BACKGROUND**

This proposal is for preliminary approval for new construction of a 90' tall, 134'x234', assisted living facility at the site of the former Scottish Rite Temple, which was demolished in 2017. The building was determined eligible for designation to the National and Tacoma Registers of Historic Places, but not listed on any historic register.

Because of the site's location within the Downtown Subarea, a Cultural Resource Management Plan was drafted, which identified anticipated adverse effects to historic properties, as well as a mitigation plan. The attached architectural design package relates to condition seven (7) and the interpretive panels and panel text relate to condition three (3) of the 2017 Cultural Resource Management Plan Report and Decision (included in the packet). Approval of the Historic Preservation Officer is required for projects adjacent to designated City Landmarks in the Downtown Residential Zone.

On August 28, 2019, the Landmarks Preservation Commission was briefed on this project and provided feedback.

The following revisions are in response to that feedback:

- Brick masonry at the northwest corner of the building, along South G Street, was brought down to the street level to enhance the streetscape experience while viewing the historical interpretive panels.
- To break up the massing of the stair tower at the northwest corner of the site, windows were added to create a more interesting composition.
- Lap siding has been increased from a 6" exposure to an 8" exposure throughout.
- The stair tower siding at the northwest corner of the site has been revised from lap siding to fiber cement panel siding.
- The paint colors have been changed to warmer tones and an overall much darker color.

### **ACTION REQUESTED**

1. Recommendation to the Historic Preservation Officer regarding the approval of the architectural design package
2. Recommendation to the Historic Preservation Officer regarding the approval of the interpretive panel design

### **STANDARDS**

#### **Additional Standards Applicable to Development Within the Downtown Residential (DR) District**

Where new or substantially altered development is adjacent to structures or districts that are designated historic, the design shall make use of similar attributes such as massing, roofline, setbacks from the property lines, window types, and materials to ensure visual continuity between the older and the newer development and be subject to the approval of the Historic Preservation Officer. TMC 13.06A.070

### **ANALYSIS**

1. In accordance with TMC 13.12.570 this development is subject to the conditions listed in the Cultural Resources Management Plan. Which include, but are not limited to:
  - DAHP Level II documentation of the demolished Scottish Rite Temple
  - Salvage and re-use of the historic organs
  - Three to five interpretive panels
  - A Monitoring and Inadvertent Discovery Plan
  - \$10,000 donation to Historic Tacoma
  - New construction design submitted for review, under the requirements of the Downtown Residential Zone Code, due to adjacency to designated City Landmarks (Wright Park and First Presbyterian Church) to ensure compatibility between the new construction and the existing context.
2. The new building would be set back to maintain the views to and from Wright Park and First Presbyterian.
3. The proposed materials and material configuration blend the new with elements from the surrounding historic masonry buildings.
4. According to the Commission's feedback, windows were added to break up the massing of the stair tower.
5. The ground floor and interpretive panels maintain the pedestrian-friendly streetscape.
6. As requested by the Commission, the paint colors have been changed to warmer, darker colors.

### **RECOMMENDATION**

Staff has reviewed the submittal and finds that it meets the Commission's recommendations.

#### Recommended language for approval:

*I move that the Landmarks Preservation Commission recommend approval of the application for 5 South G St., as submitted.*

Recommended language for deferral:

*I move that the Landmarks Preservation Commission defer a recommendation regarding the application for 5 South G St., pending submittal of [cite additional information needed to review application].*

Recommended language for denial:

*I move that the Landmarks Preservation Commission recommend denial of the application for 5 South G St., based on the following [cite standards.]*

## **PRESERVATION PLANNING/BOARD BUSINESS**

### **AGENDA ITEM 6A: Housing Types in Tacoma Discussion**

*Commission*

#### **BACKGROUND**

As part of the City's Affordable Housing Action Strategy, Tacoma is launching the At Home In Tacoma project to evaluate diverse housing types and inclusionary zoning options throughout Tacoma. The intent is to increase housing supply, create affordable housing options, and increase the choice of housing types throughout our neighborhoods. The Landmarks Preservation Commission has drafted a letter to the Planning Commission in response to this project. Copies of the letter will be provided at the meeting.

#### **ACTION REQUESTED**

Provide written comments by February 28, 2020 to Planning Commission, 747 Market St., Room 345, Tacoma, WA 98402

### **AGENDA ITEM 6B: Events & Activities Update**

*Staff*

#### **2020 Events**

1. Trivia Night (6pm @ The Swiss, March 18<sup>th</sup>)
2. Sacred Spaces Tour TBD
3. Historic Preservation Month, May
  - I. THS Historic Homes Tour, May 2<sup>nd</sup>- 3<sup>rd</sup>
  - II. HT Northwest Arts & Crafts Lecture TBD
  - III. City Council Proclamation (5pm @ Council Chambers, May 5<sup>th</sup>)
  - IV. Wright Park Tour, ( 3:30pm, May 5<sup>th</sup>)
  - V. Fort Nisqually Escape Rooms, May 7<sup>th</sup>-9<sup>th</sup>
  - VI. Heritage Gardens, May 9<sup>th</sup>
  - VII. THS History of Old City Hall (7pm @ UPS Wheelock Student Center, May 11<sup>th</sup>)
  - VIII. Fort Nisqually Queen Victoria's Birthday, May 16<sup>th</sup>
  - IX. HT Proctor Walking Tour TBD
  - X. Wapato Park Bike Ride, May 30<sup>th</sup>
  - XI. Historic Preservation Awards ( 6pm @ Point Defiance Pagoda, May 28<sup>th</sup>)
  - XII. Foss Waterway Seaport Museum Event, May 21st
4. Trivia Night (6pm @ The Swiss, June 17th)
5. Fern Hill Tour ( 11am, June 13<sup>th</sup>)
6. Forum 2020: Preservation Coast to Coast (July 22-26<sup>th</sup>)
7. Salmon Beach Tour TBD
8. Trivia Night (6pm @ The Swiss, September 16th)
9. Fall Heritage Café Lecture Series: Broadening Horizons in Historic Preservation
10. 7<sup>th</sup> Annual Holiday Heritage Swing Dance: Kenworthy Company Boogie Woogie (6-9pm @ The Realm, Nov. 12<sup>th</sup>)



# PROPOSED CHANGES TO THE GUIDELINES FOR THE WEDGE AND NORTH SLOPE HISTORIC DISTRICTS

February 12, 2020

The table below provides a summary of the proposed changes, which primarily concern:

- Guidance for installation of solar equipment on historic buildings
- Guidance for accessory structures, including garages and detached accessory dwelling units
- Additional clarification for window details for new construction

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Roofs and Roof Shapes (p. 17)	Solar panels	New language under Rooftop Additions: <u>Roof mounted solar equipment should be located in a manner that reduces its visual impact to the extent practicable. Solar installations should not obscure character-defining architectural features, and installations on the primary facade are discouraged. To be appropriate for the historic district, solar installations should balance performance with architectural compatibility.</u>
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		<p>closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Muntins and grids should be true or simulated divided light. Grids sandwiched between thermal panes are not acceptable. Commonly, windows were also surrounded with substantial trim pieces or window head trim, <u>and new window trim should utilize historic detail patterns.</u> <u>These may include crown molding, except where headers are engaged with a belly band or cornice, substantial projecting sills with aprons, and windows that are recessed or "punched in" so that the window sash and frame does not project beyond the wall plane. Design submittals for new structures shall include window trim details.</u></p> <p>Item 4, to read:</p> <p>4. <u>Window materials.</u> Historically, windows were generally wood. New construction should use windows that are wood, or that mimic the appearance of wood (including clad or composite materials). Vinyl windows are generally not acceptable for new primary <u>or detached accessory dwelling unit</u> structures in the historic district.</p>
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DRAFT  
2/12/2020

Design Guidelines for the  
Wedge Neighborhood and  
North Slope Historic Special Review Districts



*Adopted by the Landmarks Preservation Commission pursuant to Tacoma Municipal Code 13.07 for design review within the Wedge Neighborhood Historic District, Wedge Conservation District, and the North Slope Historic District.*

Updated December 2016



Tacoma Landmarks Preservation Commission  
Planning and Development Services  
City of Tacoma  
747 Market Street  
253-591-5220  
[www.cityoftacoma.org/historicpreservation](http://www.cityoftacoma.org/historicpreservation)

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# SECTION I: ABOUT GUIDELINES AND DESIGN REVIEW

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These guidelines are intended to provide information to homeowners and the Landmarks Preservation Commission about the intent and purpose of the North Slope and Wedge Neighborhood Historic Districts, as well as guidance for the review and evaluation of proposed alterations to historic properties within these districts. The historic character of these neighborhoods is embodied in their homes, streetscapes, and development patterns.

## Basis for these Guidelines

These design guidelines are based on the US Secretary of the Interior's Standards and Guidelines for the Treatment of Historic Properties, and specifically on the Standards for Rehabilitation of Historic Properties. In certain cases, local conditions or community objectives are reflected in some of the interpretations of the Secretary's Standards.

The Landmarks Preservation Commission is required to adopt and maintain these guidelines pursuant to Chapter 13.07 of the Tacoma Municipal Code.

## What is Design Review?

Design review is an approval process that certain projects involving historic properties must complete before permits are issued and work is started. The Landmarks Preservation Commission reviews projects for historic compatibility at its regular public meetings, and if the work meets the standards for historic treatment, issues a certificate of approval.

## Which Projects Require Design Review?

If your house is located within the boundaries of a historic district, then changes to the exterior of your property may require design review by the Historic Preservation Officer and the Landmarks Preservation Commission if permits are required. This includes changes to windows, siding, additions, chimneys, porches and decks.

Your project will require Landmarks Preservation Commission review, if:

- ...It is a new construction project or demolition; or
- ...It involves a contributing historic structure, AND
- ...It involves exterior work, AND
- ...It requires a building permit.

Projects are exempt from Landmarks Commission review, if:

- ...The project involves a non-contributing structure, but does not involve demolition; or
- ...The project does not require a permit; or
- ...The project does not involve any exterior work; or
- ...The project involves plumbing, sewer, electrical, or landscaping work.

## What is the Process?

Proposed changes to historic properties within the Wedge Neighborhood and North Slope Historic Districts must be transmitted to the Landmarks Preservation Commission using an Application for Design Review, which are available on [www.cityoftacoma.org/historicpreservation](http://www.cityoftacoma.org/historicpreservation) in the Design Review section.

Applications should include scale plans, details, specifications, photographs, and a narrative description, as appropriate.

The Landmarks Preservation Commission reviews applications during their regular meetings, every second and fourth Wednesday of the month.

## Tacoma's Residential Historic Districts

The City of Tacoma has two residential historic districts.

### North Slope Historic District

The North Slope Historic District, shown in the map to the right, was created by the City of Tacoma in 1994 at the request of property owners within the district, and was expanded in 1996 and 1999 in response to citizen request. The district contains historically significant homes constructed between 1881 and 1955.

The district contains over 900 homes, making it one of the largest residential historic districts in the Western United States.

The North Slope Historic District is listed on the National, state and Tacoma Registers of Historic Places. The boundaries and buildings inventory differ slightly between the different historic registers. These design guidelines and the design review process apply to the locally designated, or Tacoma Register, historic district.



The nomination and other information for the North Slope Historic District can be found here:

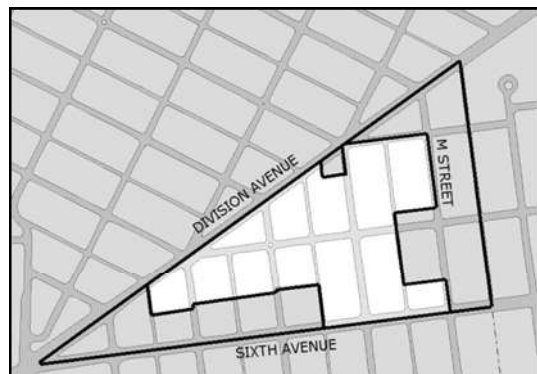
[www.cityoftacoma.org/HistoricDistricts](http://www.cityoftacoma.org/HistoricDistricts)

### Wedge Neighborhood Historic and Conservation Districts

The Wedge Neighborhood Historic and Conservation Districts were created by City Council in 2011 at the request of the neighborhood residents, after three years of research and effort.

The Wedge Historic District is an intact middle-class residential district reflecting a period of neighborhood development from Tacoma's early history until after WWI. The Historic District is buffered by the Conservation District; design review requirements for projects within the Conservation District are generally less than those within the core historic district.

The white area on the map shown at left contains the Wedge Neighborhood Historic District, which includes approximately 70 homes. The shaded areas in the triangle show the Conservation District.



The nomination and other information for the Wedge Neighborhood Historic District can be found here:

[www.cityoftacoma.org/HistoricDistricts](http://www.cityoftacoma.org/HistoricDistricts)

## SECTION II: PRESERVATION AND SUSTAINABILITY

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Historic Preservation is consistent with sustainable development goals. From waste stream reduction, to reduced consumption, to local sourcing, historic preservation makes sense for those who are interested in living a “green” lifestyle. Why?

-  **Preservation encourages the reuse of existing materials.**  
The greenest building is one that is already built. Historically, homes in the residential historic districts were handcrafted using skilled labor, and local materials. This craftsmanship was built to last, and the materials used in the construction were of top quality and are difficult to obtain now. Continuing to use these buildings and conducting proper maintenance extends the lifecycle of the original material investment, reduces environmental impacts that result from new construction and new materials, and reduces waste and waste stream impact from unnecessary demolition and replacement.
-  **Preservation encourages recycling and salvage of materials.**  
In many cases, lifestyle needs necessitate the remodeling of a residence or the removal/replacement of historic materials and elements. In those cases, reusing the removed materials (for instance, storing windows that have been removed onsite for later use or stockpiling historic fir siding) or ensuring that items removed are salvaged for use by others is important.
-  **Preservation employs a lifecycle approach to decision making.**  
All newly manufactured items, such as doors and windows, have a lifecycle cost. When upgrading a home for environmental reasons, it is important to consider the true impact of things like replacement windows—does the improvement in thermal efficiency over the service life of a new window offset the environmental impacts of manufacturing that window, the monetary expense of purchasing and installing the new window, and disposing of the original window?
-  **Preservation is local-business friendly.**  
Historic rehabilitation, maintenance and repair makes use of traditional carpentry skills and trades. Investing in an historic house and repairing and maintaining historic elements tends to invest less in materials and more in labor; replacement tends to invest more in materials and less in labor. Therefore, money invested in trades tends to have a higher local economic impact—more dollars stay in Tacoma, and less go to a corporate headquarters a thousand miles away.



## SECTION III: GUIDELINES FOR THE ALTERATION OF EXISTING BUILDINGS

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Tacoma's historic districts contribute to the social, cultural, and economic welfare of its residents by preserving the character of its early residential neighborhoods, contributing to civic pride by developing an awareness of Tacoma's heritage and sense of place, and by encouraging capital investment in and rehabilitation of historic structures through the use of incentives and design review. The historic features contained in contributing buildings and structures in the historic districts should be maintained and preserved, and new structures should be designed to be visually and aesthetically compatible with the historic character of the districts.

### General Preservation Principles

1. **Maintain architectural integrity**, as it relates to scale, proportion, texture, color, compatible materials, space, and composition in various periods of architecture, in contributing properties.
2. **Retain original materials**. The historic materials present on historic buildings should be retained wherever feasible.
3. **Repair before replacement**. Historic materials should be maintained and repaired when needed, including maintaining proper weather protection. Where repair is needed, it is desirable to remove as small an amount of material as possible.
4. **Replacement in kind**. If replacement of a historic feature or material is unavoidable, they should be replaced in kind with a visual and material match whenever possible.
5. **Houses change through time**. Changes to a home, such as early additions within the historic period of the house, may be historic in themselves. In addition, historic homes are often updated to reflect modern use. Alterations should respect historic additions, as well as strive to balance modern convenience with historical appropriateness.
6. **Guidelines should be applied reasonably**. When applying the guidelines, the Commission will be considerate of clearly documented cases of economic hardship. Application of these guidelines is not intended to deprive a property owner of reasonable use of their property.





## WINDOWS

Windows are a character defining feature of a historic home, reflecting both the time period of construction, the materials and craftsmanship of an era, and the architectural style of a building.

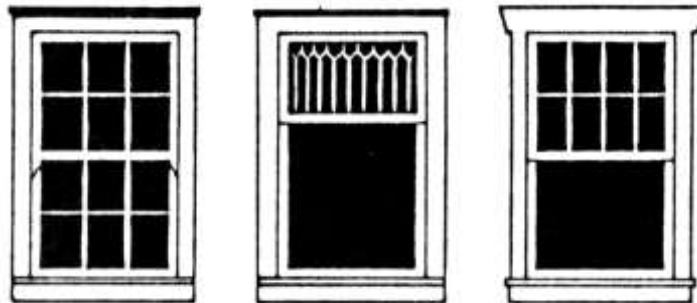
Maintaining historic integrity of the primary facades enhances and preserves the historic district. Every effort should be made to maintain existing historic windows or their visual equivalents on primary elevations within original openings, and to maintain a historic appearance on secondary elevations.

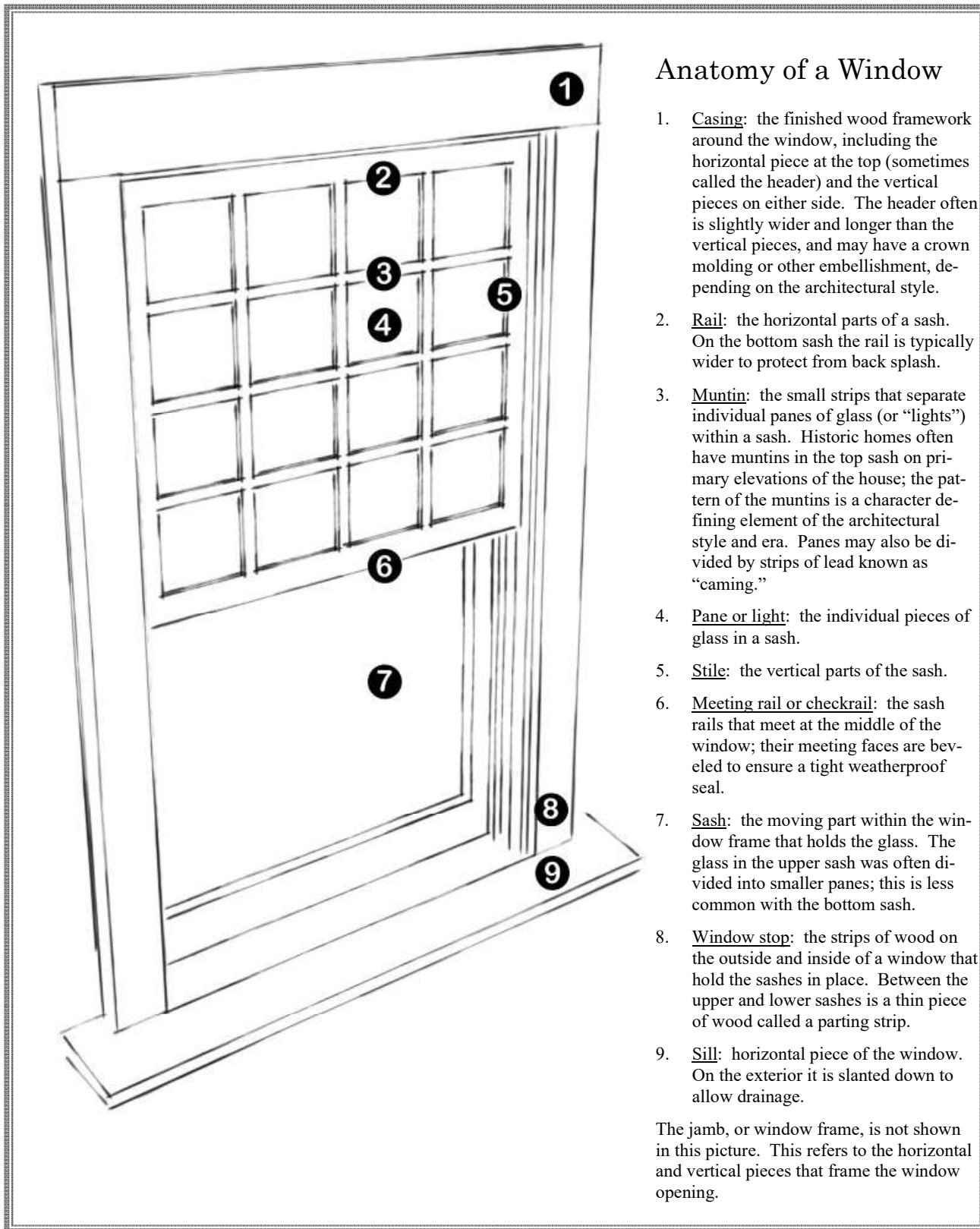
Windows are composed of individual elements, including the stiles and rails that make up the sash, muntins, joinery, window stops and casing, and each fulfills a functional role reflecting the window's historic design. Preserving both the materials and craftsmanship, and the appearance, scale and visual relationship between these components, is an objective of the historic district.

### Guidelines for Windows

1. **Preserve Existing Historic Windows.** Existing historic windows in good working order should be maintained on historic homes in the district. The existing wood windows exhibit craftsmanship and carpentry methods in use at the time that the neighborhood was developed. New manufactured windows, even those made of wood, generally do not exhibit these characteristics.

*(continued on page 10)*





## Anatomy of a Window

1. **Casing:** the finished wood framework around the window, including the horizontal piece at the top (sometimes called the header) and the vertical pieces on either side. The header often is slightly wider and longer than the vertical pieces, and may have a crown molding or other embellishment, depending on the architectural style.
2. **Rail:** the horizontal parts of a sash. On the bottom sash the rail is typically wider to protect from back splash.
3. **Muntin:** the small strips that separate individual panes of glass (or “lights”) within a sash. Historic homes often have muntins in the top sash on primary elevations of the house; the pattern of the muntins is a character defining element of the architectural style and era. Panes may also be divided by strips of lead known as “caming.”
4. **Pane or light:** the individual pieces of glass in a sash.
5. **Stile:** the vertical parts of the sash.
6. **Meeting rail or checkrail:** the sash rails that meet at the middle of the window; their meeting faces are beveled to ensure a tight weatherproof seal.
7. **Sash:** the moving part within the window frame that holds the glass. The glass in the upper sash was often divided into smaller panes; this is less common with the bottom sash.
8. **Window stop:** the strips of wood on the outside and inside of a window that hold the sashes in place. Between the upper and lower sashes is a thin piece of wood called a parting strip.
9. **Sill:** horizontal piece of the window. On the exterior it is slanted down to allow drainage.

The jamb, or window frame, is not shown in this picture. This refers to the horizontal and vertical pieces that frame the window opening.

(WINDOWS *continued from previous page*)

2. **Repair Original Windows Where Possible.** Original wood windows that are in disrepair should be repaired if feasible. The feasibility of different approaches depends on the conditions, estimated cost, and total project scope. Examples of substandard conditions that do not necessarily warrant replacement include: failed glazing compound, broken glass panes, windows painted shut, deteriorated paint surface (interior or exterior) and loose joinery. These conditions alone do not justify window replacement

Repair of loose or cracked glazing, loose joinery or stuck sashes may be suitable for a carpenter or handyperson. Significant rot, deterioration, or reconstruction of failed joints may require the services of a window restoration company. If information is needed regarding vendors that provide these services, please contact the Historic Preservation Office.

2. **Replace windows with a close visual and material match.** When repairing original windows is not feasible, replacement may be considered.
  - Where replacement is desired, the new windows should match the old windows in design and other details, and, where possible, materials.
  - Certain window products, such as composite clad windows, closely replicate original appearance and therefore may be appropriate. This should be demonstrated to the Commission with material samples and product specification sheets.
  - Changing the configuration, style or pattern of original windows is not encouraged, generally (for example, adding a highly styled divided light window where none existed before, or adding an architecturally incompatible pattern, such as a Prairie style gridded window to a English Cottage house).
  - Vinyl windows are not an acceptable replacement for existing historic windows.

Depending on specific project needs, replacement windows may include:

- Sash replacement kits. These utilize the existing window frame (opening) and trim, but replace the existing sashes and substitute a vinyl or plastic track for the rope and pulley system. Sash replacement kits require that the existing window opening be plumb and square to work properly, but unlike insert windows, do not reduce the size of the glazed area of the window or require shimming and additional trim.

*(continued on next page)*

(WINDOWS *continued from previous page*)

- An insert window is a fully contained window system (frame and sashes) that is “inserted” into an existing opening. Because insert windows must accommodate a new window frame within the existing opening, the sashes and glazed area of an insert window will be slightly smaller than the original window sashes. Additional trim must be added to cover the seams between the insert frame and the original window. However, for window openings that are no longer plumb, the insert frame allows the new sashes to operate smoothly.
4. **Non-historic existing windows do not require “upgrading.”**  
Sometimes the original windows were replaced prior to the formation of the historic district, and now must be replaced again. Although it is highly encouraged, there is no requirement to “upgrade” a non-historic window to a historically appropriate wood window. For example, a vinyl replacement window may be an acceptable replacement for a nonhistoric aluminum horizontal slider window, especially if the historic configuration (vertically operated sash) is restored.
5. **New Window Openings/Changing Window Openings**
- Enlargement or changes to the configurations of existing window openings is to be avoided on the primary elevation(s) of a historic building within the district. In specific cases, such as an egress requirement, this may not be avoidable, but steps should be taken to minimize the visual impact
  - Changes to window configurations on secondary (side and rear) elevations in order to accommodate interior remodeling are not discouraged, provided that character defining elements, such as a projecting bay window in the dining room, are not affected. A typical example of this type of change might be to reconfigure a kitchen window on the side of a home to accommodate base cabinets.
  - In general, openings on buildings in the historic district are vertically oriented and are aligned along the same height as the headers and transoms of other windows and doors, and may engage the fascia or belly band that runs above the window course. This pattern should be maintained for new windows.
  - Window size and orientation is a function of architectural style and construction technique. Scale, placement, symmetry or asymmetry, contribute to and reflect the historic and architectural character of a building.

(*continued on next page*)

(WINDOWS *continued from previous page*)

6. **Sustainability and thermal retrofitting.**

- a. Window replacement is often the least cost effective way to improve thermal efficiency. Insulation of walls, sealing of gaps and insulation of switch plates, lights, and windows, as well as upgrades to the heating system all have a higher return on investment and are consistent with preservation of the character of a historic home.
- b. Properly maintained and weather stripped historic windows generally will improve comfort by reducing drafts.
- c. The energy invested in the manufacture of a new window and the cost of its purchase and installation may not be offset by the gains in thermal efficiency for 40 to 80 years, whereas unnecessary removal and disposal of a 100 year old window wastes old growth fir and contributes to the waste stream.
- d. If thermal retrofitting is proposed as a rationale for window replacement, the owner should also furnish information that shows:
  - The above systematic steps have been taken to improve the performance of the whole house.
  - That the original windows, properly weather stripped and with a storm window added, is not a feasible solution to improve thermal efficiency.
  - Minimal retrofit, such as replacing only the sash or glass with thermal paned glass, is not possible.
  - Steps to be taken to salvage the historic windows either on site or to an appropriate architectural salvage company.



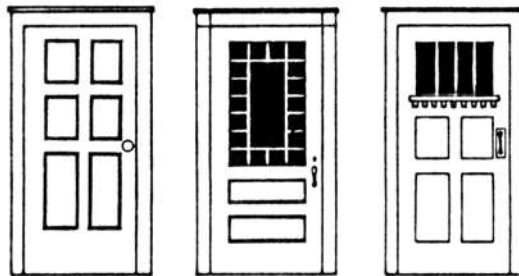
*Above: Storm windows, held in place with a simple metal clip (still available at some hardware stores), maintenance of glazing compound and weatherstripping were the traditional way of improving thermal performance of windows. This is still a cost effective method in the Pacific Northwest climate.*

## DOORS

Historic entry doors commonly include sidelights, and occasionally a transom. They tend to be paneled and/or contain glazed openings in the upper portion. Doors were constructed of wood, with stile and rail construction, or in some cases, solid wood clad with a wood veneer. The style of a door often reflects the architectural style and/or construction period of the home.

### Guidelines for Doors

1. **Avoid enlarging or moving an original entry opening.** unless you can provide documentary evidence to demonstrate that the proposal is consistent with typical designs for houses of the time period, or that the change will restore a previously altered condition.
2. **Retain historic entry doors whenever feasible.** Replacement doors should, where possible, match the original door in design and other details, and materials. In many cases, for security or cost reasons, a non-custom door in alternative materials may be proposed; in these cases, the door should appear to be wood (painted fiberglass doors molded with panel indents may be acceptable; faux wood finishes tend to be inappropriate) and should be compatible with the architecture of the house (Craftsman doors should not be proposed for Victorian era houses, for example).
3. **Avoid faux treatments.** Faux wood textures, frosted glass, and gold or silver caming (lead work in stained glass) is not appropriate for use in the historic district.
4. **Avoid nonhistoric configurations.** Double entry doors were not common in the historic district, and are discouraged unless it can be demonstrated that this was an original feature to the building.

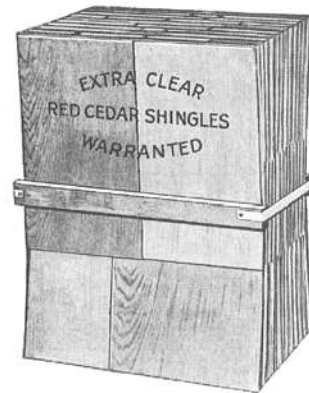


## HISTORIC SIDING AND EXTERIORS

Traditional materials used for exterior cladding in the district include horizontal wood siding (including various types and dimensions of drop siding and bevel siding), wood shingles and shakes, and, to a lesser extent, brick, stucco and half timbering, and stone.

### Guidelines for Exterior Siding and Materials

1. **Avoid removal of large amounts of original siding.**
2. **Repair small areas of failure before replacing all siding.** It is rarely advisable to replace all of the existing siding on a home, both for conservation reasons and for cost reasons. Where there are areas of siding failure, it is most appropriate to spot repair as needed with small amounts of matching material. Where extensive damage, including rot or other failure, has occurred, siding should be replaced with as close a material and **visual match** as is feasible, including matching reveals, widths, configuration, patterns and detailing.
3. **Other materials/configurations.** It is not historically appropriate to replace deteriorated siding with substitute materials, unless it can be demonstrated that:
  - the replacement material is a close visual match to the historic material and can be installed in a manner in which the historically character defining details may be reproduced (mitered corners, dentil molding, etc); and
  - replacement of the existing historic material is necessary, or the original material is no longer present; and
  - there is no feasible alternative to using a substitute material due to cost or availability.
4. **Avoid changing the appearance, pattern or configuration of original siding.** The siding type, configuration, reveal, and shingle pattern all are important elements of a home's historic character.



(HISTORIC SIDING AND EXTERIORS *continued from previous page*)

5. **Maintenance of historic masonry.** The mortar in historic masonry should be maintained in good repair to prevent mortar failure. Tuck pointing, or replacement and repair of mortar, does not require approval by the Landmarks Preservation Commission. However, the following is recommended to maintain historic masonry:
- Match new mortar with old in color, consistency and hardness. Modern mortars are much harder than historic mortars, which contained a higher proportion of lime and less cement. If a mortar is too hard, it may result in damage to bricks (such as spalling).
  - Avoid saw cutting to remove old mortar (or do so very carefully, to avoid damage to bricks).
  - Repair mortar before bricks can be shifted by hand.
  - Do not paint historic unpainted bricks. It is extremely difficult to remove paint from bricks, and certain types of paint can trap moisture and cause problems such as frost wedging (when trapped water expands as it freezes).
  - To clean or remove paint from masonry, use gentle means. Sandblasting is never recommended, as it can destroy the hard outer surface of bricks, allowing moisture to penetrate.
  - For more information, see the National Park Service's Preservation Brief #2, [Repointing Mortar Joints in Historic Masonry Buildings](#), available free of charge on the internet.

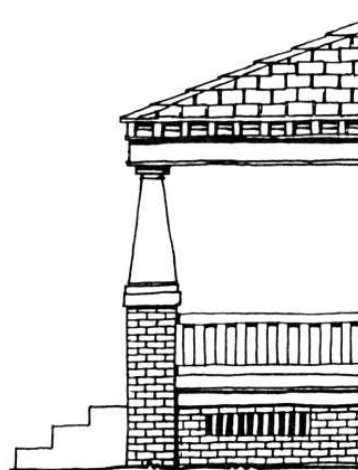




## PORCHES

The front porch of an historic house is an important feature, providing a threshold to the interior as well as a viewing platform onto the street. It is thus a critical character defining element not just for the house, but for the district as well.

Porches are generally raised a foot or more above grade and are composed of decorative and functional elements that reflect the architectural type and time period of the home. These may include roof shape, entablature, columns, piers, railings, decking, and steps.



## Guidelines for Porches

1. **Retain existing porches and porch details.** The original design elements of existing historic porches, when present, should be maintained. Major changes to configuration or ornamentation should be avoided. Missing or deteriorated details, such as columns and railings, should be repaired or replaced in kind.
2. **Avoid adding architecturally inappropriate details.** Items such as porch columns reflect the architecture of the home. Tapered columns atop piers are emblematic of Craftsman homes, but are not appropriate on Victorian era houses. Likewise, scrollwork, turned posts, or gingerbread are not appropriate on a Craftsman home. Replacement elements that have no historic design relationship with the architecture diminish the historic character of the building.
3. **Replace missing porches with designs and details that reflect the original design, if known. Avoid adding conjectural elements.** Photographic or other documentary evidence should guide the design of replacement porches. Where this is unavailable, a new design should be based on existing original porches from houses of similar type and age.
4. **In certain cases, building code may trump preservation guidelines.** For example, historic railing height may be considered a life safety issue, and new railings are generally required to meet building code. In these cases, innovative approaches may be needed to retain the appropriate scale and appearance.

## ROOFS AND ROOF SHAPES

The roof form is fundamental to the overall form and historic character of a home. A roof may be described in terms of its plan and configuration, pitch, elements such as dormers or parapets, and material. Most historic roofs in the district were pitched (including gabled and hipped) and designed to be clad in wood shingles.

### Guidelines for Roofs

1. **Preserve and retain existing roof form and appearance.**

Major changes to the overall roof plan/type are discouraged. For example, changing a hipped roof to a gabled roof is generally inappropriate.



2. **Rooftop Additions should be sensitively located.**

Additions that affect roof appearance may include the addition of elements such as dormers, skylights and chimneys. Additions are not discouraged, but should seek to minimize the visual impact to the overall roof form, as follows:

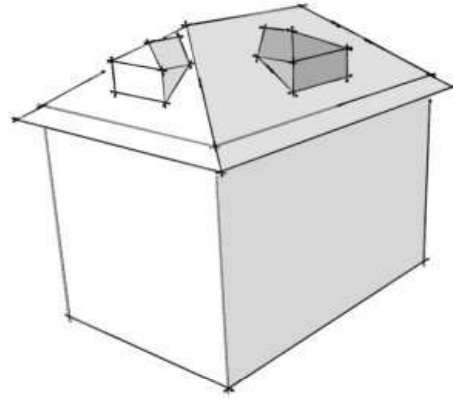
- Changes to the roof form should be located to the rear and less visible sides of a home.
- In certain cases, it may not be possible to conceal new elements such as additional dormers from view. In such cases, using examples of historic additions (location, scale, design, materials) to guide new design is appropriate.
- Roof mounted solar equipment should be located in a manner that reduces its visual impact to the extent practicable. Solar installations should not obscure character-defining architectural features, and installations on the primary facade are discouraged. To be appropriate for the historic district, solar installations should balance performance with architectural compatibility.

3. **Existing roof heights should be maintained.** Changes to the primary ridgeline height of a house are generally discouraged, such as “bump ups,” with the exception that: in certain cases it may be demonstrated that an overall ridgeline height increase will dramatically increase useful attic space in a house WITHOUT significantly changing the appearance of the home from the street (rare).

*(continued on next page)*

(ROOFS *continued from previous page*)

3. **Materials and colors.** Composition roofs are an acceptable substitute for shingles, and have been in use on homes since the early 20<sup>th</sup> century. Composite and engineered materials that mimic the visual qualities of shingles vary widely in quality and appearance. If an engineered material is proposed that is not common in the district, material samples and product specification sheets should be furnished to the Commission. Metal roofs are not acceptable for historic homes. Clay tile roofs are appropriate only on the few examples of Mission or Spanish influenced architecture seen in the districts.



*Above: Example of a rooftop addition that is visible and in scale.*

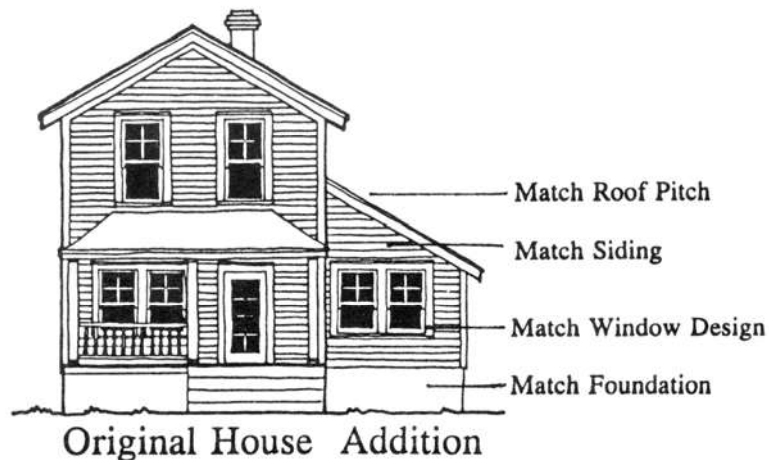
*\* Please note that a residential roof installation involving a single layer composition roof and sheathing may not require a building permit, and therefore, does not require design review. Other roof types may require permits and Landmarks Preservation Commission review. Homeowners and contractors should contact Building and Land Use Services at 253-591-5030 for more information.*

## ADDITIONS

Additions to existing homes in the historic districts are not discouraged. Historically, additions to homes were common, either as optional add-ons to stock plans, or later phases that followed a typical pattern.

### Guidelines for Additions

1. **Architectural style should be compatible** with the era and style of the principal structure, including massing, window patterning, scale of individual elements, cladding, roof form, and exterior materials.
2. **Additions should be removable** in the future without harming the character defining elements on the principal structure.
3. **Additions should be sensitively located** in a manner that minimizes visibility from primary rights of way. Where this is not possible, the design should respect the style, scale, massing, rhythm, and materials of the original building.
4. **An addition should be subservient** in size, scale and location to the principal structure.
5. **Seamless additions are discouraged**. There should be a clear visual break between the old structure and the new, such as a reduced size or footprint or a break in the wall plane, to avoid creating a falsely historic appearance (such that the original, historic portion of the house can be distinguished from the new, nonhistoric addition).

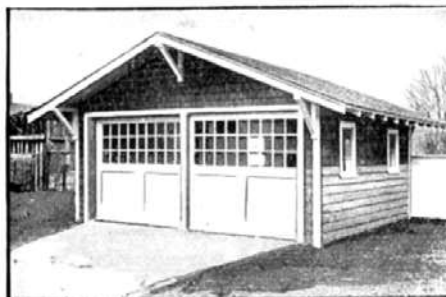


## ACCESSORY STRUCTURES, ~~GARAGES~~ AND PARKING

Some early houses provided space for storing various means of transportation, from carriages to automobiles; however, these structures were traditionally separate from the main building and were nearly always entered from the alley rather than from the street, where there is alley access.

### Guidelines for Parking and Accessory Structures ~~Garages~~

1. **Alley accessed parking is the typical and predominant residential parking configuration in the district.** Residential driveways and garages facing the street are typically only appropriate when there is no alley access, or other site constraints prevent alley accessed parking (such as a corner lot).



2. **Minimize views of parking, accessory structures and garages from the public right-of-way.** Parking areas and garages should be set toward the rear of the lot to minimize visibility from primary rights of way. Parking lots and banks of garage doors along the front facade of a building do not conform to the character of the neighborhood. Where it is not possible to locate a parking structure to conceal it from view, it should be set well back from the front plane of the primary structure on the property. New accessory structures should be clearly subservient to the primary structure on the lot. Off-street parking lots have no historic precedent in the residential areas of the neighborhoods and should be located behind the building and away from the street.
3. **Attached garages and carports are inappropriate.**
4. **New curb cuts are discouraged.** Residential driveways requiring curb cuts from a street or arterial are generally prohibited, unless the applicant can demonstrate by clear and convincing evidence that because of special circumstances not applicable to other property or facilities, including size, shape, design, topography, location, or surroundings, the strict application of this standard prevents alley-accessed parking. If approved, such curb cuts and approaches shall be consistent with the standards approved for the historic districts and on file in the Public Works Department.
5. **New accessory structures such as garages and detached accessory dwelling units should utilize a similar material palette and configuration to historic primary structures on the lot.** New accessory structures should meet the guidelines for new construction exterior materials, windows and roof form and shape. Garages and accessory structures should orient vehicle doors to the alley when possible and maintain a simple roof plan.
6. **Conversion of accessory structures.** Accessory structures that are converted to residential use should retain the exterior visual characteristics of the historic accessory structure, including door and window configuration, cladding materials, and form. Added features, such as porches, exterior staircases, and new window or door openings, should be located to be minimally visible from public rights of way.

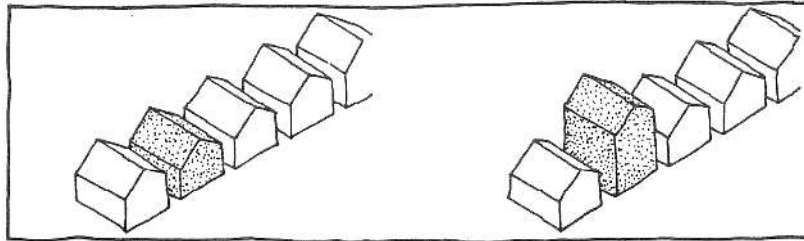
## SECTION IV: GUIDELINES FOR NEW CONSTRUCTION

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### HEIGHT

**Goal:** Balance the overall height of new construction with that of nearby structures.

**Guideline:** New buildings should be comparable in height to adjacent structures. Buildings that are substantially taller or shorter than the adjacent historic buildings should be avoided.



*Above: Example shows compatible height on the left, and incompatible height on the right.*

### SCALE

**Goal:** Relate the size and proportions of new buildings and their architectural elements to those of the neighborhood.

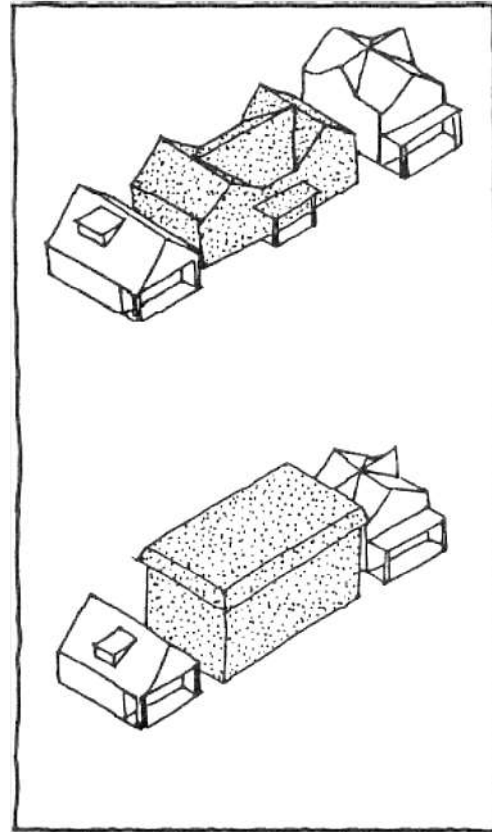
**Guideline:** Building facades should be of a scale compatible with surrounding buildings and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations.



## MASSING

**Goal:** Break up the facades of buildings into smaller varied masses comparable to those contributing buildings in the residential historic districts.

**Guideline:** Variety of forms is a distinguishing characteristic of the North Slope and Wedge residential communities. Smaller massing—the arrangement of facade details, such as projections and recesses—and porches all help to articulate the exterior of the structure and help the structure fit into the neighborhood. Avoid large, blank planar surfaces.



*Right: The top example shows compatible massing and scale, with individual elements that are proportionate with the architectural elements of the neighborhood. The bottom example is incompatible, with its large monolithic form, horizontal orientation, and large unbroken planar surfaces.*

## SENSE OF ENTRY

**Goal:** Emphasize entrances to structures.

**Guideline:** Entrances should be located on the front facade of the building and highlighted with architectural details, such as raised platforms, porches, or porticos to draw attention to the entry. Entrances not located on the front facade should be easily recognizable from the street.



*Above: Many people seek residential historic districts when house shopping, because most were true “front porch” communities. Large, welcoming porches are an important element not just of the homes in the North Slope and Wedge, but also of the district itself.*

## ROOF SHAPES AND MATERIALS

**Goal:** Utilize traditional roof shapes, pitches, and compatible finish materials on all new structures, porches, additions, and detached outbuildings wherever such elements are visible from the street. Maintain the present roof pitches of existing contributing buildings where such elements are visible from the street.

**Guideline:**

1. **Shape and Pitch:** Typically, the existing historic buildings in the districts either have gable roofs with the slopes of the roofs between 5:12 to 12:12 or more and with the pitch oriented either parallel to or perpendicular to the public right-of-way or have hipped roofs with roof slopes somewhat lower.
2. **Architectural Elements:** Most roofs also have architectural details, such as cross gables, dormers, and/or “widow’s walks” to break up the large sloped planes of the roof. Wide roof overhangs, decorative eaves or brackets, and cornices can be creatively used to enhance the appearance of the roof.
3. **Materials:** Roofs that are shingle or appear to be shingle, or composition roofs, are the typical historic material compatible with the district. Seam metal may be an acceptable material for simple roof structures. Slate, faux slate and terra cotta tiles are not appropriate for the districts.



## EXTERIOR MATERIALS

**Goals:** Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope and Wedge Neighborhoods were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood.

**Guideline:**

1. New structures should utilize exterior materials similar in type, pattern, configuration and appearance to those typically found in the neighborhood.
2. Stucco, especially commercial EIFS systems like Dryvit, is not acceptable for the historic district.
3. Faux materials, such as vinyl or metal siding, are not acceptable for the historic district.
4. Certain siding patterns, including board and batten and panel, are not historically common in the district and should not be used.
5. Cementitious products, such as Hardiplank, may be acceptable in the district if installed in a historically correct pattern (for example, horizontal lapped siding or shingle). In such cases, the product used shall be smooth in texture (faux wood grain finish is NOT acceptable).
6. Engineered products for trim and molding, if demonstrated to be similar in appearance to painted wood, may be an environmentally responsible substitute for wood on new structures. In such cases, the applicant should demonstrate to the Commission, via product literature and material samples, that the product is compatible.

## WINDOWS AND RHYTHM OF OPENINGS

**Goals:** Respect the patterns and orientations of door and window openings, as represented in the neighboring buildings. Window and door proportions (including the design of sash and frames), floor heights, floor shapes, roof shapes and pitches, and other elements of the building exterior should relate to the scale of the neighborhood.

**Guideline:**

1. Placement. Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. New structures should utilize this pattern.
2. Doors. Doors should be or appear to be paneled and/or contain glazed openings.
3. Window configuration and detail. New structures should utilize existing historic window patterns in their design. Windows should be vertically oriented. Large horizontal expanses of glass may be created by ganging two or more windows into a series. Historically, the typical window in the district was a double hung sash window. Casement windows were commonly used for closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Muntins and grids should be true or simulated divided light. Grids sandwiched between thermal panes are not acceptable. Commonly, windows were also surrounded with substantial trim pieces or window head trim, and new window trim should utilize historic detail patterns. These may include crown molding, except where headers are engaged with a belly band or cornice, substantial projecting sills with aprons, and windows that are recessed or "punched in" so that the window sash and frame does not project beyond the wall plane. Design submittals for new structures shall include window trim details.
4. Window materials. Historically, windows were generally wood. New construction should use windows that are wood, or that mimic the appearance of wood (including clad or composite materials). Vinyl windows are generally not acceptable for new primary or detached accessory dwelling unit structures in the historic district.

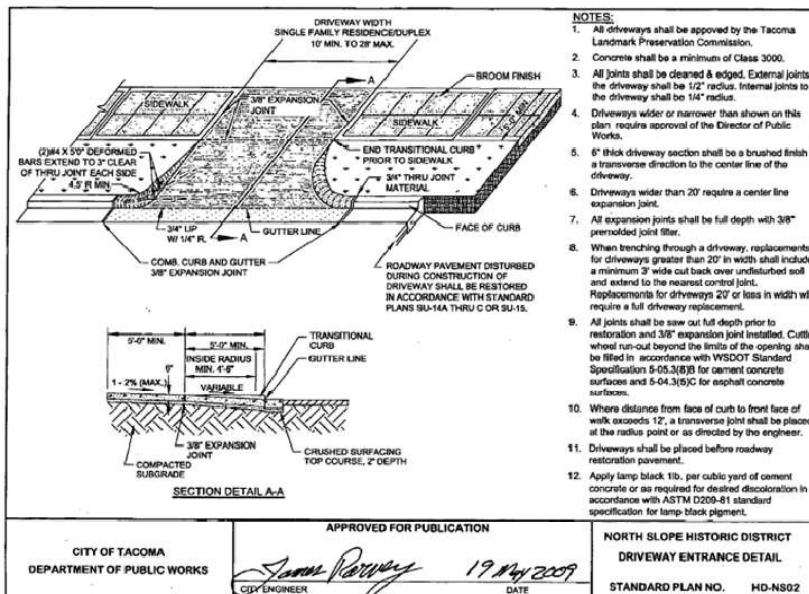
## PARKING

Please see the “Guidelines for the Alteration of Existing Buildings, Parking,” on page 19.

# SECTION V: STREET IMPROVEMENT STANDARDS FOR THE NORTH SLOPE AND WEDGE HISTORIC DISTRICTS

The architectural character of the North Slope and Wedge Neighborhood Historic Districts is significantly enhanced by the complementary residential nature of existing street amenities, including brick and cobblestone street paving, historic streetlights, planting strips, sidewalks, historic scoring patterns in walks and driveways, healthy trees, and a restrained use of signage. These elements should be retained or enhanced. Installation, repair, or replacement of streetlights, curbs, alley approaches, sidewalks, and street surfaces shall be consistent with the standards approved for the historic districts and kept on file with the Public Works Department.

1. Driveways: refer to Standard Plan HD-NS02 *Driveway Entrance Detail*
2. Sidewalk replacement: refer to Standard Plan HD-NS03 *Cement Concrete Sidewalk*
3. Alley Entrance: refer to Standard Plan HD-NS04 *Alley Entrance*
4. Streetlight Replacement: refer to Standard Plan HD-NS05 *Streetlight*



Left: Example of a Public Works Standard Plan.

## SECTION VI: GUIDELINES FOR COMMERCIAL CONSTRUCTION WITHIN THE WEDGE CONSERVATION DISTRICT

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**Goal:** Minimize visual impacts to the core district from commercial development that occurs on the periphery of the neighborhood. There are several areas within the Wedge Conservation District boundaries where commercial buildings will be constructed. Such construction projects should seek to minimize encroachment and visual impact by:

1. **Site planning.** Design new construction in such a manner that the primary massing of new buildings is directed away from the edges of the Wedge Neighborhood Historic District, particularly where the height of the new construction will be substantially higher than the historic apartment buildings also on the edges of the residential area. Locate entrances and exits in such a manner to minimize impacts from vehicular activities on the Wedge Historic District. Maintain and improve historically compatible streetscape and pedestrian amenities. Design buffers and setbacks for new buildings to maintain integrity of siting and availability of light and air. Locate parking to the rear or alley sides of new construction and avoid new curb cuts where alley access is available.
2. **Materials.** Utilize an exterior materials palette that reflects the typical and traditional building materials of the region, including wood and stone, and utilize other durable materials on new buildings. Avoid faux treatments or overtly synthetic materials.
3. **Scale and Massing.** Individual elements on elevations and building units should be designed to break up large planar surfaces and avoid large, monolithic massing. Vertically oriented new construction, consistent with historic modulation of individual façades and façade elements, as opposed to low single-story commercial construction, is preferred.

## SECTION VII: EXEMPTIONS

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### WEDGE NEIGHBORHOOD

The following actions are exempt from the requirements for Design Review:

1. Any alterations to noncontributing properties within the Wedge Historic Special Review Districts, as defined by the District Inventory adopted by the Commission and kept on file at the Historic Preservation Office and any alterations to properties within the designated Conservation District, are exempt from the design review requirements; provided, that alterations to accessory structures within the Historic District and the demolition of any structures in the Historic District and Conservation District, including noncontributing and accessory structures or the construction of new buildings, are not exempt from the provisions of this chapter;
2. Historically nonresidential and commercial use structures; provided, that the demolition of non-contributing or accessory structures are not exempt from the provisions of this chapter;
3. Interior modifications to existing structures, unless those modifications affect the exterior appearance of the structure;
4. Changes to the exteriors of contributing structures that are not visible from adjacent public rights-of-way may be granted an administrative Certificate of Approval by the Historic Preservation Officer, provided that staff is able to determine that the proposed project is consistent with the district design guidelines and applicable Secretary of the Interior's Standards, all without prejudice to the right of the owner at any time to apply directly to the Commission for its consideration and action on such matters;
5. Any alterations to private residential structures that are specifically exempted from permit requirements in the Residential Building Code as adopted by the City (such as painting and minor repairs such as caulking or weather-stripping);
6. The installation, alteration, or repair of public and private plumbing, sewer, water, and gas piping systems, where no right-of-way restoration is required;
7. The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems; provided that the installation of solar panels, wind generators, and cellular antenna towers is not exempt;
8. The landscaping of private residences;
9. The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots (new installations are subject to review by the Commission);
10. Signs not exceeding the limitations for a home occupation permit (TMC 13.06.100.E: one non-illuminated nameplate not exceeding one and one-half square feet in area placed flat against the building) and those installed by the City for directional and locational purposes;
11. The following types of projects within the public rights-of-way: ADA accessibility ramps and installations, in-road work, traffic-signaling equipment, utility markers, and equipment required by the United States Postal Service.

## NORTH SLOPE HISTORIC DISTRICT

The following actions are exempt from the requirements for design review:

1. Any alterations to non-contributing properties as defined by the District Inventory adopted by the Commission and kept on file at the Historic Preservation Office; provided, that modifications to accessory structures and the demolition of noncontributing or accessory structures are not exempt from the provisions of this chapter;
2. Interior modifications to existing structures, unless those modifications affect the exterior appearance of the structure;
3. Any alterations to private residential structures that are specifically exempted from permit requirements in the Residential Building Code as adopted by the City (such as painting and minor repairs such as caulking or weather-stripping);
4. The installation, alteration, or repair of public and private plumbing, sewer, water, and gas piping systems, where no Right of Way restoration is required;
5. The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems, provided that the installation of solar panels, wind generators, and cellular antenna towers is not exempt;
6. The landscaping of private residences;
7. The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots (new installations are subject to review by the Commission);
8. Signs not exceeding the limitations for a home occupation permit (TMC 13.06.100.E: one non-illuminated nameplate not exceeding one and one-half square feet in area placed flat against the building) and those installed by the City for directional and locational purposes;
9. The following types of projects within the public rights of way: ADA accessibility ramps and installations, in-road work, traffic signaling equipment, utility markers, and equipment required by the United States Postal Service.

## **Comments**



# North Slope Historic District

a 501 (c)(3) organization

908 North M St.  
Tacoma WA 98403

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February 18, 2020

**BOARD OF DIRECTORS**

DEBORAH CADE, CHAIR  
JULIE TURNER, SECRETARY  
TODD SHEPHERD, TREASURER  
JUDITH MARTIN, PROGRAMS  
MARSHALL MCCLINTOCK, HIST. PRES.  
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JOHN BUTLER, OUTREACH  
LYNDA SHEPHERD  
ROGER JOHNSON  
GYDA MAY  
KAREN MAY  
MELINDA GORDON  
ALEX STRAUB

Reuben McKnight  
Historic Preservation Officer,  
City of Tacoma  
747 Market St.  
Tacoma, WA 98402

Dear Mr. McKnight,

The Board of Directors of the North Slope Historic District, Inc. has asked me to convey to you our approval of the changes to the Guidelines for the North Slope Historic District. We applaud the clarification of the design guidelines on accessory dwellings, new garages and curb-cuts. It is good to spell out the LPC thinking on the replacement of garages.

In addition we especially like the changes to requirements for new windows in new accessory buildings. It has been too easy to overlook non-historic windows in these new structures.

Sincerely,

Julie S. Turner, Secretary  
North Slope Historic District, Inc.  
Tacoma, WA 98403





# Landmarks Preservation Commission

Planning and Development Services Department



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

## APPLICATION FOR DESIGN REVIEW

Permit Number: HDR20-0005

### PROPERTY INFORMATION

<b>Building/Property Name:</b>	Merrill Gardens at Wright Park
<b>Building/Property Address:</b>	5 S G ST
<b>Historic/Conservation District:</b>	N/A
<b>Applicant's Name:</b>	Urbal Architecture
<b>Applicant's Address:</b>	1938 Fairview Ave E, suite 100 Seattle, WA 98102
<b>Applicant's Phone:</b>	2066765649
<b>Applicant's Email:</b>	alexnd@urbalarchitecture.com
<b>Property Owner's Name:</b>	5 SOUTH G LLC
<b>Property Owner's Address:</b>	

### PROJECT SCOPE AND DESCRIPTION

#### Project Details

<b>Application Type:</b>	Commercial
<b>Type of Work:</b>	Other Major Work
<b>Estimated Valuation:</b>	34000000

#### Application Checklist

<b>Features to be Modified:</b>	
---------------------------------	--

**Program of Work:**

**Specifications of Materials and Finishes:**

**Building/Roofing Information**

Roof Height: 90  
Roof Pitch: 0  
Roof Material:  
Size of Construction: 134' x 234'

Proposed Material:

Exterior Material:

**Window Information**

Window Types:

Window Trim:

Window Material:

Window Locations:

**Door Information**

Door Types:

Door Materials:

Door Locations:

**Sign/Awning Information**

**Existing Signage:**

**Sign Dimensions:**

**Sign Material:**

**Logo and Letter Size:**

**Lighting Specifications:**

**Removing or Relocating Signage:**

**Method of Attachment:**

## 5 South G Street\_Historical Design Review

*Summary of revisions from the historical review briefing*

*February 18<sup>th</sup>, 2020*

### Summary of revisions:

1. Brick masonry at the north west corner of the building along S G street was brought down to the street level to enhance the streetscape experience while viewing the historical interpretive panels.
2. To break up the mass of the stair tower at the north west corner of the site, windows were added to create a more interesting composition.
3. Lap siding has been increased from a 6" exposure to an 8" exposure throughout.
4. The stair tower siding at the north west corner of the site has been revised from lap siding to fiber cement panel siding.
5. The paint colors have been revised incorporating feedback from the previous Historical Review meeting. The colors have been revised to warmer tones and overall much darker in color.

# MERRILL GARDENS TACOMA

5 SOUTH G STREET TACOMA, WA 98405

**HISTORIC REVIEW**

PACKET  
ROUND 2

28 JANUARY 2020

**ARCHITECT**

**URBAL ARCHITECTURE**

1938 FAIRVIEW AVE E STE. 100  
SEATTLE, WA 98102

**OWNER**

**RUSH DEVELOPMENT CO**

6622 WOLLOCHET DR NW  
GIG HARBOR, WA 98335

**LANDSCAPE ARCHITECT**

**FAZIO ASSOCIATES**

102 NW CANAL ST  
SEATTLE, WA 98107



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# PROJECT INFORMATION

## PROJECT DATA

SITE AREA: 31,541 S.F.  
NUMBER OF STORIES ABOVE GRADE: 7  
TOTAL GROSS FLOOR AREA: 170,286 S.F. (APPROX.)  
TOTAL RETAIL: 2,580 S.F. (APPROX)  
NUMBER OF UNITS: 133 (APPROX.)  
NUMBER OF PARKING SPACES: 62

ADDRESS:  
5 SOUTH G STREET  
TACOMA, WA 98405

### ARCHITECT

**URBAL ARCHITECTURE**  
1938 FAIRVIEW AVE E STE. 100  
SEATTLE, WA 98102

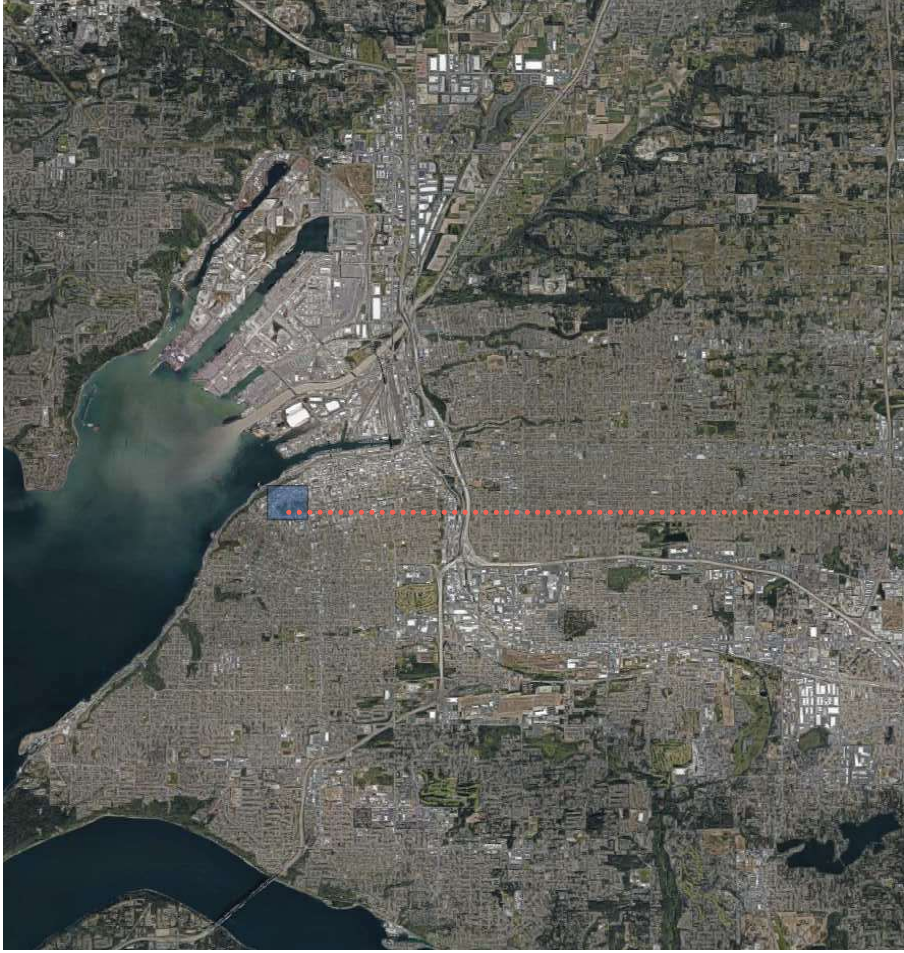
### OWNER

**RUSH DEVELOPMENT CO**  
6622 WOLLOCHET DR NW  
GIG HARBOR, WA 98335

### LANDSCAPE ARCHITECT

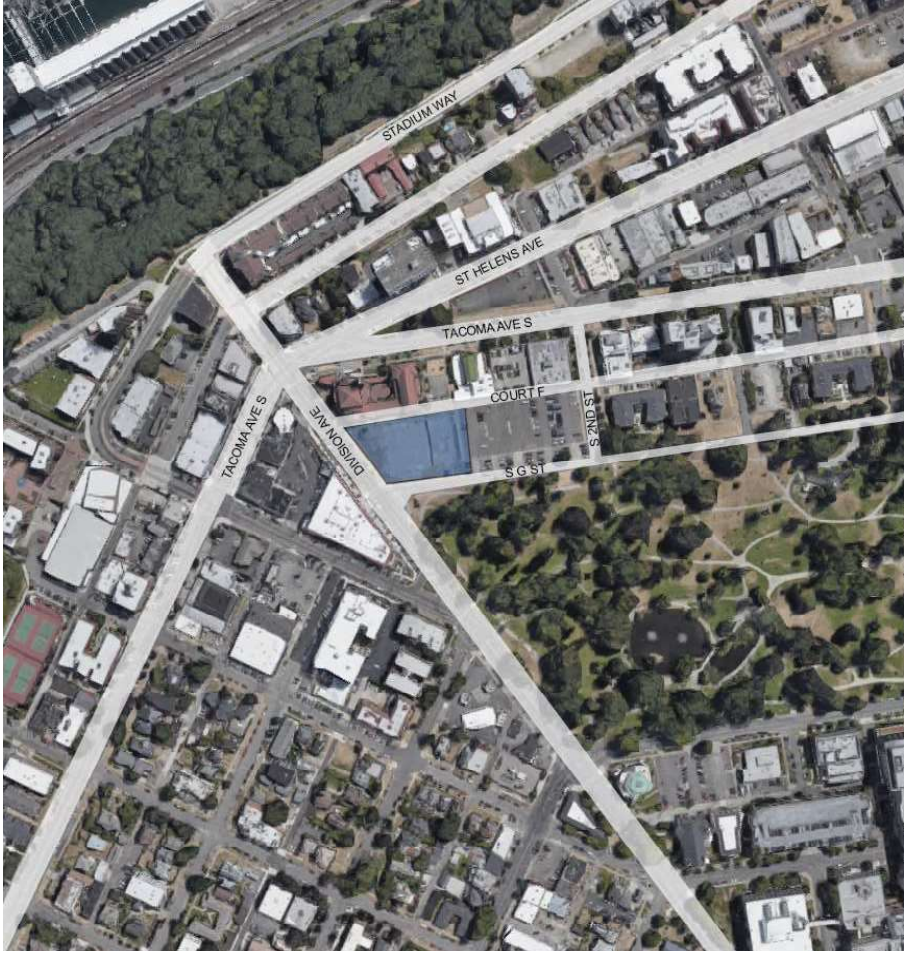
**FAZIO ASSOCIATES**  
102 NW CANAL ST  
SEATTLE, WA 98107

SUMMARY CONTEXT



WRIGHT PARK

TACOMA AREA CONTEXT



NEIGHBORHOOD CONTEXT





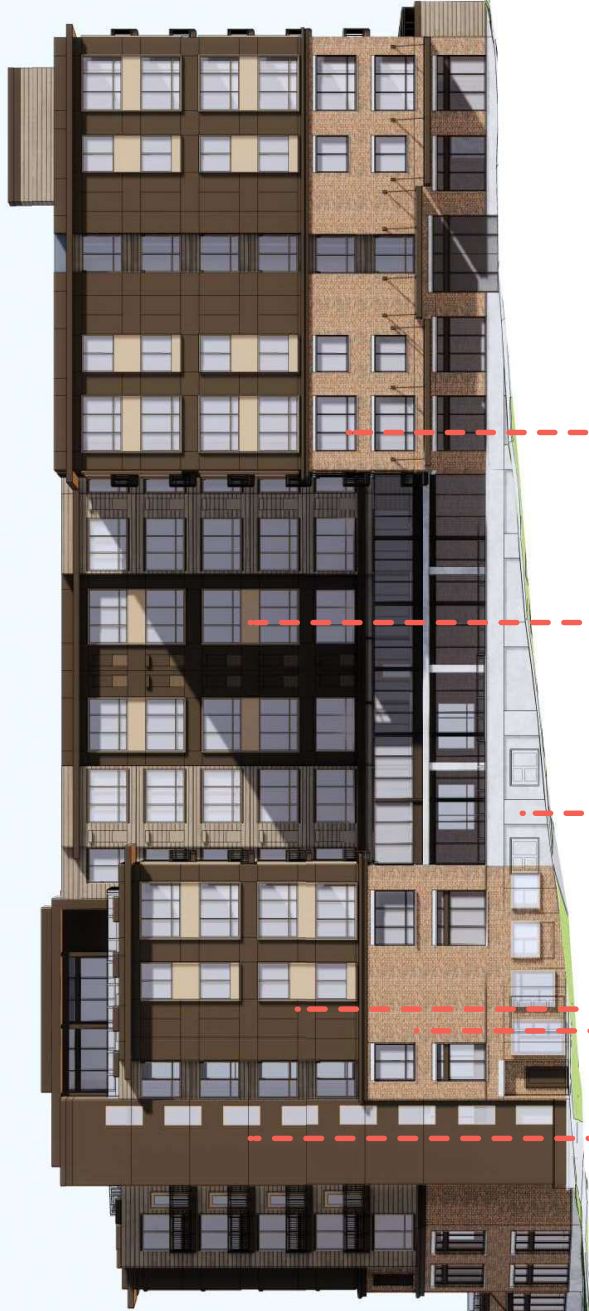
# DIVISION AVE





# WRIGHT PARK





- FIBER CEMENT PANEL - SW 7020
- FACE BRICK - FOREST BLEND
- FIBER CEMENT PANEL - SW 7020
- CAST IN PLACE CONCRETE
- WINDOW TRIM - SW 6141
- WINDOW TRIM - URBAN BRONZE

WEST ELEVATION - SOUTH G STREET





- FIBER CEMENT PANEL - SW 7020
- FIBER CEMENT SIDING - SW 7046
- WINDOW TRIM - SW 6141
- CAST IN PLACE CONCRETE
- FACE BRICK - FOREST BLEND

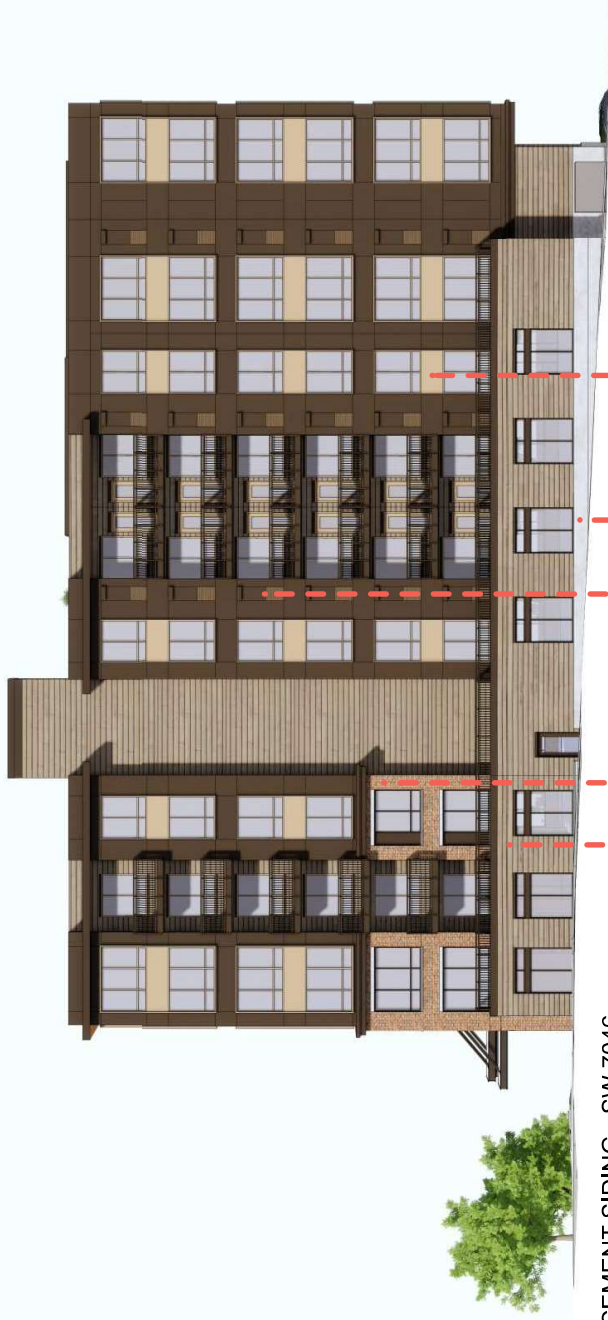
EAST ELEVATION - COURT F



- FIBER CEMENT PANEL - SW 7020
- FACE BRICK - FOREST BLEND
- FIBER CEMENT PANEL - SW 7020
- CAST IN PLACE CONCRETE
- WINDOW TRIM - SW 6141

NORTH ELEVATION - DIVISION STREET





FIBER CEMENT SIDING - SW 7046  
FACE BRICK - FOREST BLEND  
FIBER CEMENT PANEL - SW 7020  
CAST IN PLACE CONCRETE  
WINDOW TRIM - SW 6141

SOUTH ELEVATION - CHURCH PARKING LOT

# FLOOR PLANS



LEVEL 1 - FLOOR PLAN

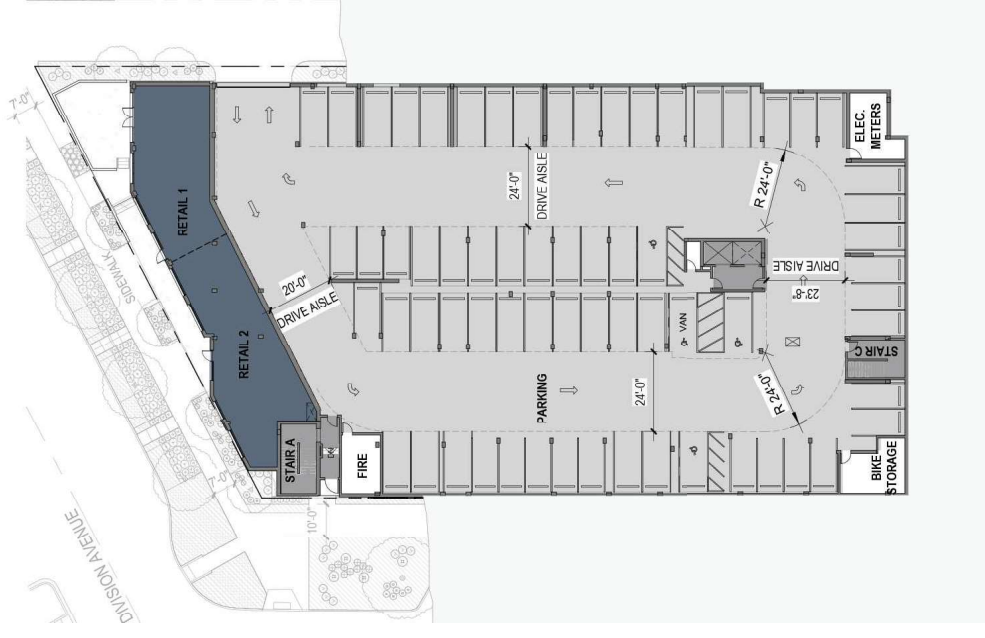


LEVEL 2 - FLOOR PLAN

- PARKING
- CIRCULATION
- LOBBY
- AMENITY
- RESIDENTIAL
- RETAIL
- COURTYARD



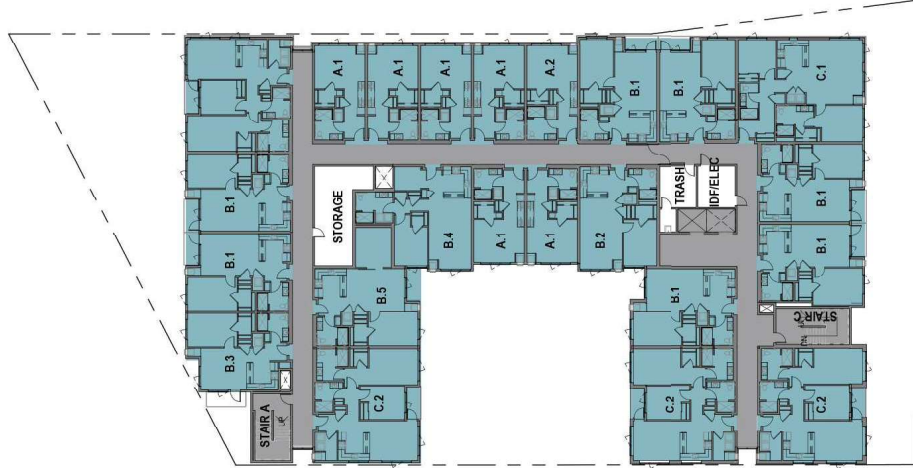
# FLOOR PLANS



LEVEL P1 - FLOOR PLAN



LEVEL 7 - FLOOR PLAN



LEVEL 3-6 - FLOOR PLAN

- PARKING
- CIRCULATION
- LOBBY
- AMENITY
- RESIDENTIAL
- RETAIL
- COURTYARD



# MATERIAL PALETTE



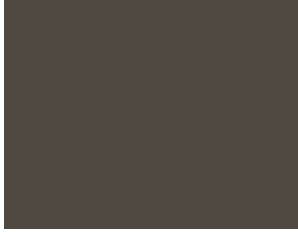
① FACE BRICK -  
FOREST BLEND



② FIBER CEMENT PANEL  
SYSTEM - PAINTED  
"SOFTER TAN"  
SW6141



③ FIBER CEMENT LAP  
SIDING -  
PAINTED "ANONY-  
MOUS"  
SW 7046



④ WINDOW TRIM -  
PAINTED "BLACK FOX"  
SW 7020



⑤ ACCENT PANELING -  
MERCER CHERRY  
WOOD PANEL



⑥ CAST IN PLACE CON-  
CRETE









Historical Interpretive Panel Locations  
West Elevation - 5 S G street

# The SCOTTISH RITE TEMPLE

Architects Sutton, Whitney & Dugan designed Tacoma's Scottish Rite Temple. Grading contractor Rinaldo Keasal moved nearly 6,000 yards of gravel to prep the site, which formerly had a house on it, in just 12 days. Contractors Albertson, Cornell Brothers & Walsh laid the cornerstone of the building on April 22, 1921 and took a year to construct the massive concrete structure. The Scottish Rite members meet in it in 1922 and used it for the next decade. Tacoma's Scottish Rite continues to exist but meets elsewhere, in central Tacoma.

"One of the most beautiful Masonic buildings in the world."  
— The Tacoma Daily Ledger



The architect designer Thomas Scottish Rite Temple was built by Masonic standards. The building's stark exterior and private ceremonial spaces, the Tacoma Scottish Rite Masons ensured that more people than just the Masons enjoyed the use of the Scottish Rite Temple. While the upper ceremonial space was reserved for the Masons, a ballroom (called Washington Hall) and banquet hall were created to house public events. Once it opened in 1922, the temple was a true community space, hosting various civic events like lectures, conventions, and parties through the '20s and early '30s. The Tacoma Philharmonic Orchestra had their rehearsal space in the building by 1934 and Sherlock Holmes creator Sir Arthur Conan Doyle even lectured in the building.

## Panel 1: The Scottish Rite Temple

### MAIN BLOCK

The cornerstone for Tacoma's Scottish Rite Temple was laid on April 22, 1921. Architectural firm Sutton, Whitney & Dugan designed the building for the Tacoma Shrine and Scottish Rite organization (Scottish Rite Freemasons) following Masonic standards. Rinaldo Keasal was praised for his work to prepare the site, moving between 5,000 and 6,000 yards of gravel in just 12 days (a typical dump truck today can carry 10-14 cubic yards). The project's general contractors, Albertson, Cornell Bros. & Walsh, completed construction on the massive reinforced concrete building in 1922 and the formal dedication occurred on April 7, 1922. The Tacoma Daily Ledger heralded it as "one of the most beautiful Masonic buildings in the world and a public structure which is without a rival of its kind in the Pacific Northwest..." Tacoma's Scottish Rite Masons used the building until the mid-1930s.

### BLOCK A – discussion of Masonic standards

Sutton, Whitney & Dugan designed Tacoma's Scottish Rite Temple using Masonic standards. Albert Sutton of the architecture firm was a Mason himself. Their design for the Tacoma Scottish Rite Temple borrowed heavily from a design for which the firm won first prize in a competition the Portland Scottish Rite held to design a new building, though it does not appear their Portland design was ever constructed. Masonic lodges, at this time, were constructed above street level, longer than they were wide. The ceremonial spaces were designed to shut out the exterior world and outsiders which was reflected in the lodge room's location on the building's upper floor and lack of windows at this level.

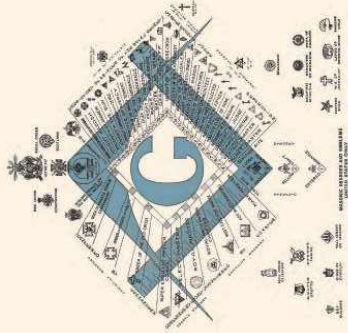
### BLOCK B – discussion of use by public/theatricality

Despite the building's stark exterior and private ceremonial spaces, the Tacoma Scottish Rite Masons ensured that more people than just the Masons enjoyed the use of the Scottish Rite Temple. While the upper ceremonial space was reserved for the Masons, a ballroom (called Washington Hall) and banquet hall were created to house public events. Once it opened in 1922, the temple was a true community space, hosting various civic events like lectures, conventions, and parties through the '20s and early '30s. The Tacoma Philharmonic Orchestra had their rehearsal space in the building by 1934 and Sherlock Holmes creator Sir Arthur Conan Doyle even lectured in the building. The building also featured many theatrical elements – reflecting the Masons' desire for the public to use the building as well as the drama present in their ceremonies. The Masons commissioned artist Thomas G. More to paint 40 pieces for their building. More, a Mason himself, was known for creating theatrical drop curtains and stage scenery for other Masonic organizations. The Tacoma Scottish Rite Masons had a large pipe organ installed that could be played in either the ballroom or the ceremonial room. The theatrics didn't end there, though – the ceremonial room also featured a "thunder pipe" which, when used with lighting equipment in the "Projectoscope room," could produce flashes of lightning, the distant rumble of thunder, and storm effects for dramatic performances.



# The FREEMASONS

*The Scottish Rite, or the Ancient and Accepted Scottish Rite of Freemasonry, is one of several "Rites," or groups, of Freemasonry. A fraternal organization, Freemasonry promotes ethics, morality, and integrity. Masons pass through degrees or levels as they learn more about Freemasonry. The Scottish Rite is open to Master Masons—those who have earned the 3rd degree—who wish to continue their Masonic education. The Scottish Rite allows Master Masons to progress through additional levels and has the 4th through 32nd degree. Scottish Rite Masonry began in France in the 18th century and the first Scottish Rite lodge formed in the U.S. in Albany, New York, in 1767. Other Masonic-affiliated organizations like the Scottish Rite include The Shrine (Shriners), York Rite, Grotto, Eastern Star, DeMolay International, Job's Daughters, International Order of Rainbow for Girls, and the Tall Cedars of Lebanon.*



The graphic pattern system for the degrees and emblems used by Masons in the United States. The later compass and square is the emblem most associated with Freemasonry. The eagle holds a banner with the Latin phrase, "SPES MEA IN DEO EST." It translates to "My hope is in God." While symbols in Freemasonry are meant to inspire deeper thought and reflection, the double-headed eagle can represent duality in unity, that we are made of both body and spirit, and that both good and evil exist in the world.



The crest above is the Double-Headed Eagle of Lagash, one of the most widely recognized symbols of Scottish Rite Masonry. The eagle holds a banner with the phrase in Latin, "SPES MEA IN DEO EST," which translates "My hope is in God." While symbols in Freemasonry are meant to inspire deeper thought and reflection, the double-headed eagle can represent duality in unity, that we are made of both body and spirit, and that both good and evil exist in the world.

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## Panel 2: The Freemasons

### MAIN BLOCK

The Scottish Rite, or the Ancient and Accepted Scottish Rite of Freemasonry, is one of several Rites of Freemasonry. Freemasonry is a fraternal organization which promotes ethics, morality, and integrity. Upon joining a Masonic Lodge (or Blue Lodge), Masons pass through the three

### Scottish Rites Temple Interpretive Panel Text

Degrees as they learn more about Freemasonry and its values of ethics, morality, and integrity. Once a Mason achieves the 3rd Degree, they may join another Freemasonry body, like the Scottish Rite, to be further exposed to Masonic principles. The Scottish Rite builds upon those Masonic teachings and philosophies through dramatic presentation of the individual degrees. The Scottish Rite has the 4th through 32nd Degree. An honorary 33rd degree is awarded for exceptional service. Scottish Rite Masonry began in France in the 18th century and the first Scottish Rite lodge formed in the U.S. was founded in Albany, New York, in 1767. Other Masonic affiliated organizations like the Scottish Rite include The Shrine (Shriners), York Rite, Grotto, Eastern Star, DeMolay International, Job's Daughters, International Order of Rainbow for Girls, and the Tall Cedars of Lebanon. As of 2018, the Tacoma Valley (or center) Scottish Rite continues to meet.

### BLOCK A – Masonic Degrees and Emblems

The graphic to the left, courtesy of the Grand Lodge of Washington, shows the degrees and emblems used by Masons in the United States. The blue compass and square is the emblem most associated with Freemasonry. At the base of the square you can see the 3rd Degree of Master Mason; the first two degrees of entered apprentice and fellowcraft are outside of the square. The right sides of the square and compass show the 4th through 32nd degrees of the Scottish Rite, from Secret Master to S. J. Consistory. The 33rd Degree and its associated emblems cap the graphic. The left sides of the square and compass represent the York Rite, another body of Freemasonry.

### BLOCK B – Description of Eagle

The crest above is the Double-Headed Eagle of Lagash, one of the most widely recognized symbols of Scottish Rite Masonry. The eagle holds a banner with the phrase in Latin, "SPES MEA IN DEO EST," which translates "My hope is in God." While symbols in Freemasonry are meant to inspire deeper thought and reflection, the double-headed eagle can represent duality in unity, that we are made of both body and spirit, and that both good and evil exist in the world.

### Block C – Additional graphic discussion

The graphic framework (or repeated ornamental pattern) at the top of this panel is a design known as the "Greek key" or "meander." It is a linear pattern made up of a long, continuous line that repeatedly folds back on itself. Although used frequently in ancient Greek architecture (which the Romans then copied), the pattern also appears in ancient Egyptian, Chinese, and Mayan designs. The pattern represents infinity or the eternal flow and it occurred in a few places within the building, including at the proscenium arch for the stage in the upper ceremonial space and on a drop curtain painted by Thomas G. More. The pattern remains popular today and continues to be used in architecture, art, and textiles.



# Tacoma BIBLICAL PRESBYTERIAN CHURCH

*On August 20, 1935, the pastor of Tacoma's First Presbyterian Church, Dr. Roy Talmadge Brumbaugh, led 800 of the church's 1,100 members to leave and form a new church—right next door. Brumbaugh opposed the modern stance of the First Presbyterian Church's national organization. The new independent church rented space at the adjacent Scottish Rite Temple and named itself Tacoma Bible Presbyterian Church. In 1937 they purchased the former masonic building—it had been vacated by the Masons in the mid-1930s—and converted the ballroom into their sanctuary. They added the church's name in large letters to the building's exterior. The church used the building for the next 80 years. After a 2016 fire damaged the building's interior, Tacoma Bible Presbyterian Church moved out of the building. It was sold and demolished in 2017.*



The Tacoma Bible Presbyterian Church entered a bit of the Masonic revolution on the building's exterior; however, many Masonic details remained on the inside, from doorknobs to archways. Winged ram-topped column capitals. The double-headed eagle marked doorknobs and door handles. The building was designed by architect Joseph Egyptian architecture, from columns in the building, Egyptian and other design deemed "exotic" to Westerners were popular in Art Deco, Streamline Moderne, and the revival styles of the 1920s and 1930s.



## Panel 3: Tacoma Bible Presbyterian Church

MAIN BLOCK – Church founding and use of the Scottish Rite Temple The Tacoma

On August 20, 1935, Dr. Roy Talmadge Brumbaugh, then pastor of First Presbyterian Church, took a fundamental stance against the modern leanings of church's denomination and left his position. In leaving First Presbyterian, Brumbaugh led 800 of the congregation's 1,100 members

to form a new church—Independent Bible Presbyterian Church (later renamed Tacoma Bible Presbyterian Church). Conveniently, the Scottish Rite Temple had space to rent; just next door for the church's office, sanctuary, and classroom space. After renting the space, the new church was able to purchase the building from the Scottish Rite Masons in 1937 and began renovating it for their use. They converted the ballroom into their sanctuary, adding an altar and

Scottish Rites Temple Interpretive Panel Text

enlarging the stage. Photographs show the church also altered the building's exterior to re-move

Masonic symbolism and added large lettering with the church's name. The Tacoma Bible Presbyterian Church remained in the church for the next several decades, renting to space to various tenants over the years, until a 2016 fire damaged the building's interior. The Western Reformed Seminary occupied the third floor of the building from 1983 until 2016. After the fire,

the Tacoma Bible Presbyterian Church moved out of the building and it was sold and demolished in 2017.

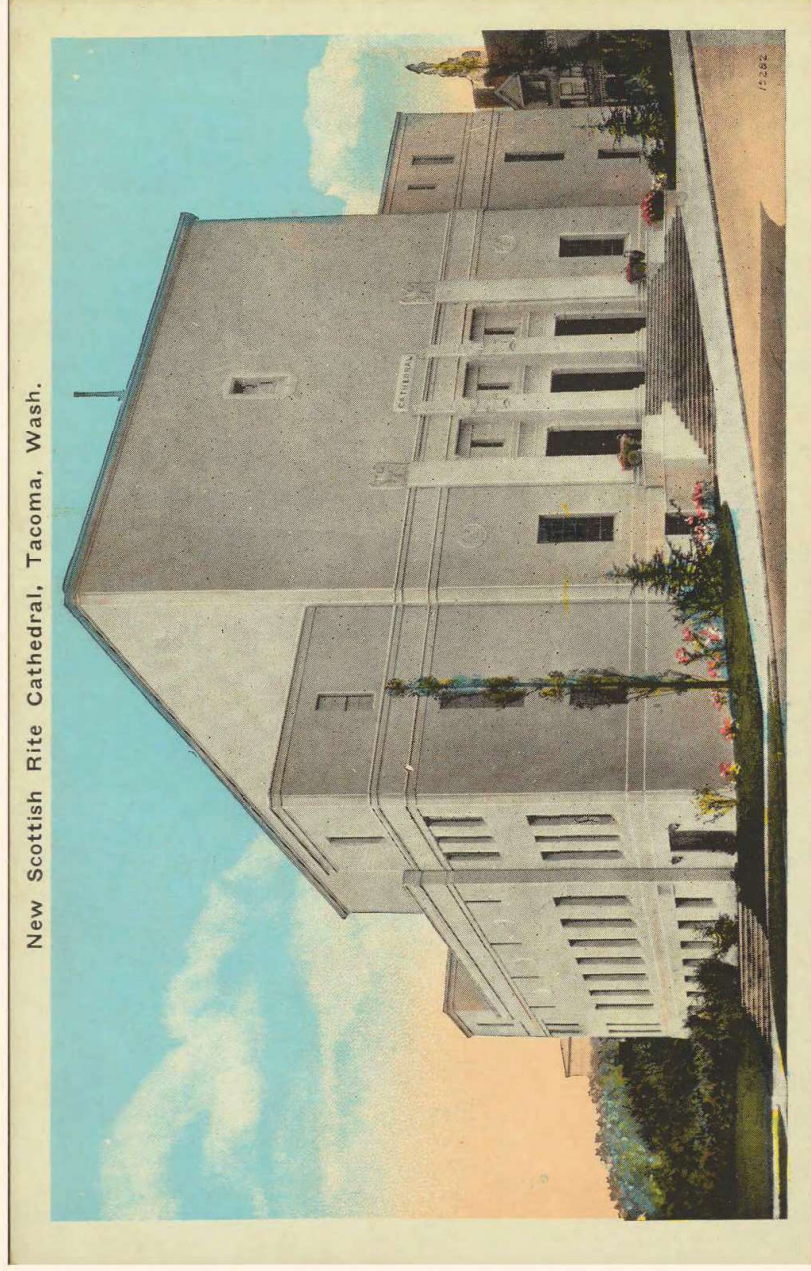
BLOCK A – Architectural Features

Although the Tacoma Bible Presbyterian Church altered much of the Masonic symbolism present on the building's exterior, elements remained on the interior, such as the Masonic figure

on the first panel. Other interior elements included the double-headed eagle (described on the second panel) on doorknobs and benches and winged rams forming capitals for columns in the upper ceremonial space. The repeating graphic on this panel is a palm leaf – a common symbol

used in Egyptian architecture, Egyptian and other "exotic" motifs were re-popularized with the architectural trends of the 1920s and 1930s, including Art Deco, Streamline Moderne, and various exotic revival styles.

PANEL 4 - Historical Image



New Scottish Rite Cathedral, Tacoma, Wash.



# DESIGN REVISIONS



Previous Design



Revised Design



## Summary of revisions:

1. Brick masonry was brought down to the street level to enhance the streetscape experience while viewing the historical interpretive panels.
2. To break up the mass of the stair tower, windows were added to create a more interesting composition.
3. Lap siding has been increased from a 6" exposure to an 8" exposure.
4. The stair tower siding has been revised from lap siding to fiber cement panel siding.
5. The paint colors have been revised incorporating feedback from the previous Historical Review meeting. The colors have been revised to warmer tones and overall much darker in color.



# The SCOTTISH RITE TEMPLE

*Architects Sutton, Whitney & Dugan designed Tacoma's Scottish Rite Temple. Grading contractor Rinaldo Keasal moved nearly 6,000 yards of gravel to prep the site, which formerly had a house on it, in just 12 days. Contractors Albertson, Cornell Brothers & Walsh laid the cornerstone of the building on April 22, 1921 and took a year to construct the massive concrete structure. The Scottish Rite members moved in in 1922 and used it for the next decade. Tacoma's Scottish Rite continues to exist but meets elsewhere, in central Tacoma.*

“One of the most beautiful  
Masonic buildings in the world.”

— *The Tacoma Daily Ledger*



The architects designed Tacoma's Scottish Rite Temple using typical Masonic standards at the time. Notice that the building sat above street level, was longer than it was wide, and had no windows on the upper floor, where the Masons held their ceremonies. This design helps shut out outsiders and the exterior world. Albert Sutton, one of the architects, was a Mason himself, so he knew the standards well. It seems the architects used their own earlier design, which had been intended for another temple that was never built, the Portland Scottish Rite. So the Tacoma Scottish Rite Temple stands as a unique design for the firm.

While the Masons set aside the upper space for their ceremonies, the Tacoma Scottish Rite Masons shared their new building with the community and held public events in the ballroom and banquet hall. In its early years, the temple hosted lectures, conventions, and parties—Sherlock Holmes creator Sir Arthur Conan Doyle gave a lecture there in 1923. The Tacoma Philharmonic Orchestra regularly rehearsed in the building by 1934.

Theatrical details in the building reveal the importance of drama in Scottish Rite ceremonies and teachings. The Masons hired artist Thomas G. More to paint 40 drop curtain and stage scenery pieces for their building—the picture at the lower left depicts one of More's drop curtains in place. A large pipe organ was played in both the ballroom and the ceremonial room. Special effects enhanced the drama. The “projectoscope room” contained a “thunder pipe” and lighting equipment that produced rumbles of thunder and lightning flashes.



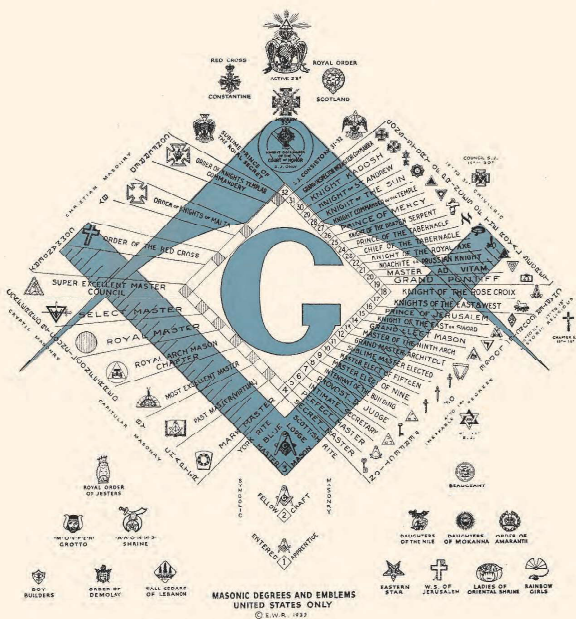


# The FREEMASONS

*The Scottish Rite, or the Ancient and Accepted Scottish Rite of Freemasonry, is one of several “Rites,” or groups, of Freemasonry. A fraternal organization, Freemasonry promotes ethics, morality, and integrity. Masons pass through degrees or levels as they learn more about Freemasonry. The Scottish Rite is open to Master Masons—those who have earned the 3rd degree—who wish to continue their Masonic education. The Scottish Rite allows Master Masons to progress through additional levels and has the 4th through 32nd degree. Scottish Rite Masonry began in France in the 18th century and the first Scottish Rite lodge formed in the U.S. in Albany, New York, in 1767. Other Masonic-affiliated organizations like the Scottish Rite include The Shrine (Shriners), York Rite, Grotto, Eastern Star, DeMolay International, Job’s Daughters, International Order of Rainbow for Girls, and the Tall Cedars of Lebanon.*



The crest, above, is the Double-Headed Eagle of Lagash, one of the most widely recognized symbols of Scottish Rite Masonry. The eagle holds a banner with the Latin phrase, “SPES MEA IN DEO EST.” It translates to “My hope is in God.” The double-headed eagle can represent duality in unity, that people are made of both body and spirit, and that both good and evil exist in the world.



The graphic to the left shows the degrees and emblems used by Masons in the United States. The blue square and compass is the emblem most associated with Freemasonry. At the base of the square you can see the 3rd degree, Master Mason; the first two degrees of Entered Apprentice and Fellowcraft are outside of the square. The right sides show the 4th through 32nd degrees of the Scottish Rite, from Secret Master to S.J. Consistory. The honorary 33rd Degree and its associated emblems cap the graphic. The left sides represent the York Rite, another body of Freemasonry.



The graphic pattern across the top of this panel is a design known as the “Greek key” or “meander.” It is made up of a long, continuous line that repeatedly folds back on itself, representing infinity or the eternal flow of things (life, love, friendship). The pattern is common in ancient Greek and Roman architecture and Egyptian, Chinese, and Mayan designs. The graphic occurred in a few places within the building, including at the proscenium arch (the arch between the stage and auditorium) in the upper ceremonial space and on a drop curtain painted by Thomas G. More. It remains a popular pattern today in architecture, art, and textiles.



# Tacoma BIBLE PRESBYTERIAN CHURCH

*On August 20, 1935, the pastor of Tacoma's First Presbyterian Church, Dr. Roy Talmadge Brumbaugh, led 800 of the church's 1,100 members to leave and form a new church—right next door. Brumbaugh opposed the modern stance of the First Presbyterian Church's national organization. The new independent church rented space at the adjacent Scottish Rite Temple and named itself Tacoma Bible Presbyterian Church. In 1937 they purchased the former masonic building—it had been vacated by the Masons in the mid-1930s—and converted the ballroom into their sanctuary. They added the church's name in large letters to the building's exterior. The church used the building for the next 80 years. After a 2016 fire damaged the building's interior, Tacoma Bible Presbyterian Church moved out of the building. It was sold and demolished in 2017.*

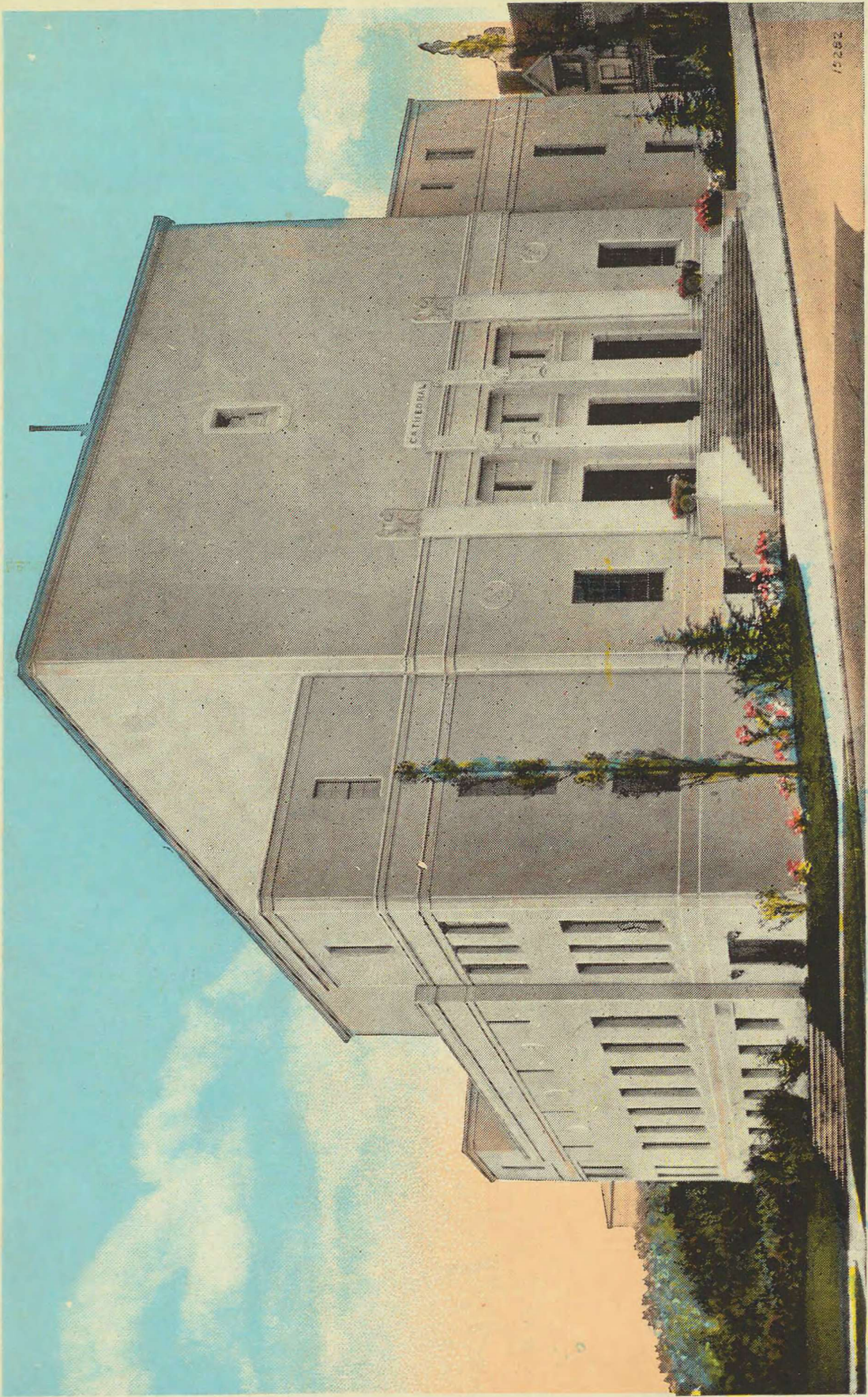


The Tacoma Bible Presbyterian Church removed a lot of the Masonic symbolism on the building's exterior; however, many Masonic details remained on the inside, from doorknobs to archways. Winged rams topped column capitals. The double-headed eagle marked doorknobs and benches. The top of this panel depicts a palm leaf, common in Egyptian architecture, from columns in the building. Egyptian and other designs deemed "exotic" to Westerners were popular in Art Deco, Streamline Moderne, and the revival styles of the 1920s and 1930s.





New Scottish Rite Cathedral, Tacoma, Wash.







## **Cultural Resource Management Plan Report and Decision**

In accordance with *Tacoma Municipal Code (TMC)* 13.12.570, the following findings and decision for the project described below is transmitted.

**APPLICANT:**

Tacoma Bible Presbyterian Church  
5 S G Street  
Tacoma, WA 98405

**SUMMARY OF REQUEST:**

Demolition of the Scottish Rite Temple/Tacoma Bible Presbyterian Church, a 32,500 SF structure constructed in 1922, which is located in the Downtown Subarea and is zoned DR (Downtown Residential).

**ASSOCIATED PERMIT:**

Demolition Permit – File No. DEMOC17-0011

**LOCATION:**

5 South G Street, Parcel #2000130010

**DECISION:**

The Cultural Resources Management Plan is **APPROVED**, subject to a number of conditions designed to Mitigate and Minimize Potential Adverse Impacts.

**Notes:**

The appeal period on this decision closes June 6, 2017 and the effective date of this decision is the following business day, provided no requests for reconsideration or appeals are timely filed as identified in APPEAL PROCEDURES of this report and decision.

**FOR ADDITIONAL INFORMATION CONCERNING THIS PROJECT, PLEASE CONTACT:**

Reuben McKnight, Historic Preservation Officer  
Planning and Development Services  
747 Market Street, Room 345, Tacoma, WA 98402  
reuben.mcknight@cityoftacoma.org



The Planning and Development Services Director for the City of Tacoma, after consultation with the City's Historic Preservation Officer, hereby makes the following findings and conclusions based upon a review of the Tacoma Municipal Code, the *One Tacoma* Comprehensive Plan, the submitted Cultural Resource Management Plan, and comments received from stakeholders.

## SUMMARY OF RECORD

The following attachments and exhibits constitute the administrative record:

### Exhibits<sup>1</sup>:

Cultural Resource Management Plan for 5 S G Street Multifamily Project, May 2017  
Correspondence to Russell Holter, Washington State Department of Archaeology and Historic Preservation, dated March 3, 2017  
Correspondence to Brandon Reynon, Puyallup Tribe of Indians, dated March 3, 2017  
Minutes of the Tacoma Landmarks Preservation Commission, March 22, 2017  
Correspondence from Russell Holter, Washington State Department of Archaeology and Historic Preservation, dated March 29, 2017  
Correspondence to Jay McKown, Tacoma Bible Presbyterian Church, dated April 13, 2017

## FINDINGS

### General:

1. Tacoma Bible Presbyterian Church (TBPC) applied for a demolition permit on February 21, 2017 to demolish a 32,500 SF concrete building originally constructed in 1922, located at 5 South G Street (parcel 2000130010). The property is owned by Tacoma Bible Presbyterian Church.
2. The building was constructed as the Scottish Rite Temple. In 1935, the property was conveyed to the Bible Christian Church, and it has been used as a house of worship since that time.
3. The property is located in the Downtown Subarea. For development activities within the Downtown Subarea, review is required pursuant to TMC 13.12.570 by the City Historic Preservation Officer to determine whether the proposed project will impact any known historically or culturally significant resources. If a proposal will affect a known historically or culturally significant site, a Cultural Resources Management Plan (CRMP) is required.
4. The CRMP must be prepared by a qualified Cultural Resources consultant, and must identify the Area of Potential Effect (APE), historically or culturally significant sites within the APE, an assessment of probable adverse effects resulting from demolition of historically significant structures, potential impacts to significant archaeological sites, and a description of how adverse impacts to such sites may be mitigated or minimized.
5. In accordance with the above requirements, TBPC retained Historical Research Associates (HRA) to prepare the CRMP. A draft of the CRMP was submitted to the City Historic Preservation Officer in January 2017. In addition, TBPC contacted the Washington State Department of Archaeology and Historic Preservation (DAHP) and the Puyallup Tribe of Indians.

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<sup>1</sup> All Exhibits are contained in Planning and Development Services File. They are referenced and incorporated herein as though fully set forth.

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### **Report and Decision**

6. The Tacoma Historic Preservation Officer solicited comments on the draft CRMP from the Tacoma Landmarks Preservation Commission (LPC), DAHP and Puyallup Tribe of Indians. Comments were received from LPC and DAHP, and were incorporated into a response from the Historic Preservation Officer that was provided to TBPC on April 13, 2017.
7. In response to the recommendations made by the Historic Preservation Officer, TBPC submitted a revised CRMP on May 4, 2017.
8. TBPC has indicated that it would formally oppose any efforts to nominate its property to the Tacoma Register of Historic Places and has rejected “avoidance” as a viable mitigation strategy.
9. The Director has jurisdiction in this matter per *TMC* Sections 13.12.570 and 13.05.030.

#### **Area of Potential Effect:**

10. The direct “area of potential effects” (APE) encompasses the tax parcel that is occupied by the current TBPC building, as well as a one-tax-parcel radius around the site.
11. Historically designated historic properties within the APE include Wright Park/Seymour Conservatory and First Presbyterian Church/Buckley King Mortuary (listed on the Tacoma Register of Historic Places, the Washington State Heritage and the National Register of Historic Places).
12. The project APE also includes ground disturbing activities related to the demolition and excavation for a new development project on the subject parcel.

#### **Historic and Cultural Significance:**

13. The CRMP recommends, and the City concurs, that the Scottish Rite Temple is historically significant and is eligible for the NRHP for its association with trends in the religious history of Tacoma, for its association with Scottish Rite Freemasonry, and as an excellent example of Art Deco architecture in Tacoma. Likewise, it is considered eligible for the Tacoma Register of Historic Places.
14. The site is considered to have potential for archaeological materials that may be exposed during excavation. These materials are most likely to be historic period materials related to activities from prior historic development.
15. The Project, as proposed, has the potential to adversely affect one historic property, the TBPC building at 5 S G St., as well as to encounter archaeological materials. Indirect effects are also anticipated to adjacent structures in the form of view impacts
16. This review and findings is issued pursuant to the City of Tacoma Historic Preservation Element of the Comprehensive Plan policy HP-21: *Provide effective demolition review procedures*, as well as the Historic Preservation Section of the North Downtown Subarea Plan.

### **CONCLUSIONS**

Based on the record and the above findings, the Cultural Resources Management Plan is hereby **APPROVED**, subject to the following conditions:

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#### **Report and Decision**

### **Conditions – Measures to Mitigate or Minimize Potential Adverse Impacts:**

The following measures are to be taken as described below, as a condition of the issuance of a demolition permit for the above property. The items below shall be completed and presented to the Historic Preservation Officer by TBPC, or its agents, contractors, assigns or successors-in-interest (if the property is sold prior to work being concluded under this Decision) for approval prior to Final Inspection of the demolition permit.

1. The extant pipe organ in the building will be donated to an organization committed to salvage and re-use of historic organs, such as Rose City Organ Builders in Portland, Oregon. In the event that that applicant is unable to identify an organization to accept the donation of the organ, applicant may submit an alternate proposal to the City for its approval.
2. A qualified consultant will be retained to complete DAHP Level II recordation prior to demolition of the TBPC building, which requires that an in-depth history of the building be prepared along with archival-quality contemporary and historic photographs. Resulting documentation should be shared with the Tacoma Public Library and local historical societies and museums.
3. Professional services will be retained to design, create and install three to five interpretive panels displaying historic photographs and materials from the TBPC building (and the TBPC congregation, should they so choose), in a public area of the future development, thereby providing future users a sense of the parcel's history.
4. A qualified consultant shall draft and finalize (following review by the City Historic Preservation Office) a monitoring and inadvertent discovery plan (MIDP) prior to demolition and/or any ground-disturbing activities (e.g., geotechnical boring, excavation) associated with the new construction. Monitoring recommendations should focus on areas where historic map research has suggested historic-period buildings existed
5. All contractors associated with demolition or construction on the site will receive copies of and follow all guidelines in the MIDP.
6. An amount equal to \$10,000 shall be donated to an appropriate historic preservation non-profit community organization to support local historic preservation efforts in Tacoma, such as Historic Tacoma.
7. Project designs will be submitted to the Historic Preservation Officer for review under the requirements of the Downtown Residential Zoning Code, due to the adjacency to designated City Landmarks (Wright Park and First Presbyterian Church). Such review will be conducted to encourage visual, material and scale compatibility between the new construction and the existing context of the built environment).

### **Advisory Notes:**

The below notes are meant to provide additional information to the applicant relative to the specific proposal. These notes are not conditions of the permit nor do they constitute a complete review of the project.

1. This approval is not to be considered as final permission to undertake any specific development; this proposed work will require approval of separate permits (i.e. a demolition permit). Likewise, any future construction on this property will require permits, as necessary, which may entail additional administrative and/or public review.
2. The decision set forth herein is based upon representations made and information submitted to the Director. Any substantial change(s) or deviation(s) in such plans, proposals, or

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### **Report and Decision**

conditions of approval imposed shall be subject to the approval of the Director, and may require additional permitting, public notification and comment.

ORDERED this 23rd day of May 2017

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Peter Huffman  
Director, Planning and Development Services

FULL DECISION TRANSMITTED by first class mail to:

Jay McKown, Tacoma Bible Presbyterian Church, 5 S G Street, Tacoma, WA 98405

Chris DeWald, Rush Commercial Property Development, 6622 Wollochet Drive NW, Gig Harbor, WA 98335

Russell Holter, Washington State Department of Archaeology and Historic Preservation PO Box 48343, Olympia, WA 98504-8343

Brandon Reynon, Cultural Resources, Puyallup Tribe of Indians, 3009 Portland Ave, Tacoma 98404

SUMMARY OF DECISION TRANSMITTED by first class mail and interoffice to:

New Tacoma Neighborhood Council of Tacoma, PO Box 1784, Tacoma WA 98401

Stadium Business District, Attn: Ethan Wing, 1419 S 7<sup>th</sup> St, Tacoma, WA 98405

Landmarks Preservation Commission, 747 Market Street Room 345, Tacoma WA 98402

Historic Tacoma, PO Box 7664, Tacoma, WA 98417

Washington Trust for Historic Preservation, 1204 Minor Avenue, Seattle, WA 98101

## **RECONSIDERATION and APPEAL PROCEDURES**

Any request for RECONSIDERATION and/or any APPEALS must be submitted in the applicable manner as outlined below on or before **June 6, 2017**.

### **RECONSIDERATION:**

Any aggrieved person or entity having standing under the ordinance governing this application and feeling that the decision of the Director is based on errors of procedure, fact or law may make a written request for review by the Director within fourteen (14) days of the issuance of the written decision. This request shall set forth the alleged errors of procedures, fact or law, and the Director may, after further review, take such further actions as deemed proper, and may render a revised decision. A request for RECONSIDERATION of the Director's decision in this matter must be filed in writing to the staff contact listed on the first page of this document.

### **APPEAL TO HEARING EXAMINER:**

Any decision of the Director may be appealed by any aggrieved person or entity as defined in Section 13.05.050 of the *Tacoma Municipal Code*, within fourteen (14) calendar days of the effective date of the final written order, or within seven (7) calendar days of the date of issuance of the Director's decision on a request for reconsideration, to appeal the decision to the Hearing Examiner.

An appeal to the Hearing Examiner is initiated by filing a Notice of Appeal accompanied by the required filing fee of **\$325.26**. Filing of the appeal shall not be complete until both the Notice of Appeal and required filing fee has been received. **THE FEE SHALL BE REFUNDED TO THE APPELLANT SHOULD THE APPELLANT PREVAIL.** (Pursuant to Section 2.09.020 of the *Tacoma Municipal Code*, fees for appeals shall be waived for qualifying senior citizens and persons who are permanently handicapped who are eligible for tax exemption because of financial status.)

The Notice of Appeal must be submitted in writing to the Hearing Examiner's Office, Seventh Floor, Tacoma Municipal Building and shall include a statement of the alleged reason(s) the decision was in error, or specifying the grounds for appeal. The following information, accompanied by the appeal fee, shall be submitted:

1. An indication of facts that establish the appellant's right to appeal;
2. An identification of explicit exceptions and objections to the decision being appealed, or an identification of specific errors in fact or conclusion;
3. The requested relief from the decision being appealed; and,
4. Any other information reasonably necessary to make a decision on the appeal.

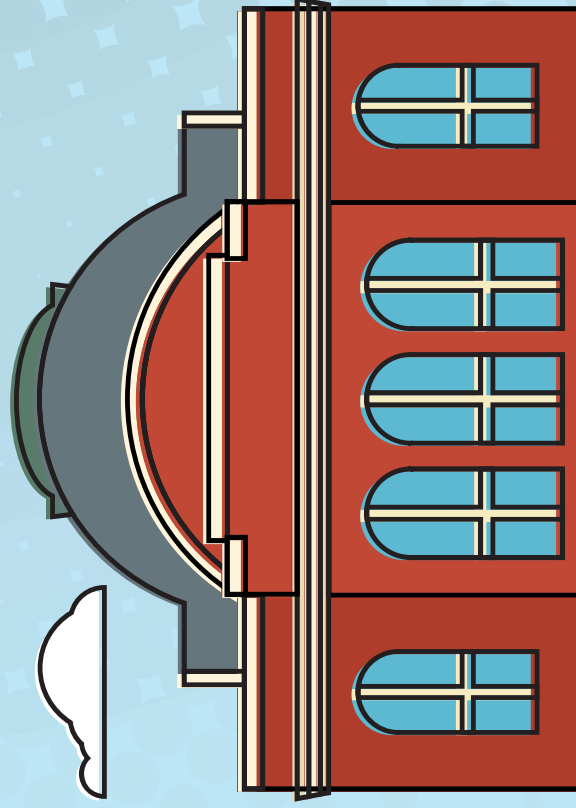
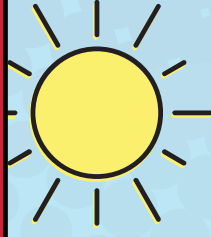


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Questions? Contact Lauren Hoogkamer at  
lhoogkamer@cityoftacoma.org or call (253) 591-5254.

